

## **Index File**

**UP-804-12**

### **Meridian Assisted Living Home LLC**

**500, 512, 516, and 600 Merrimac Trail**

#### **Assessor's Parcel Nos. 10-10A, 10-10B, 10-10C, and 10-21**

Request for a Special Use Permit, pursuant to Sections 24.1-306 (Category 6, No. 3) and 24.1-411 of the York County Zoning Ordinance, to authorize the redevelopment of an existing hotel (George Washington Inn) for the establishment of a Senior Housing, Assisted Living facility of up to 150 units on property located at 500, 512, 516, and 600 Merrimac Trail (Route 143). The properties are located on the south side of Merrimac Trail approximately 550 feet east of its intersection with Second Street (Route 162). The properties are zoned GB (General Business) and are designated General Business in the Comprehensive Plan

#### Attachments:

- Staff Memorandum
- Zoning Map
- Applicant's Community Impact Study
- Applicant's Fiscal Impact Study Summary
- Applicant's Sketch Plan
- Applicant's Floor Plans
- Proposed Resolution No. PC12-4

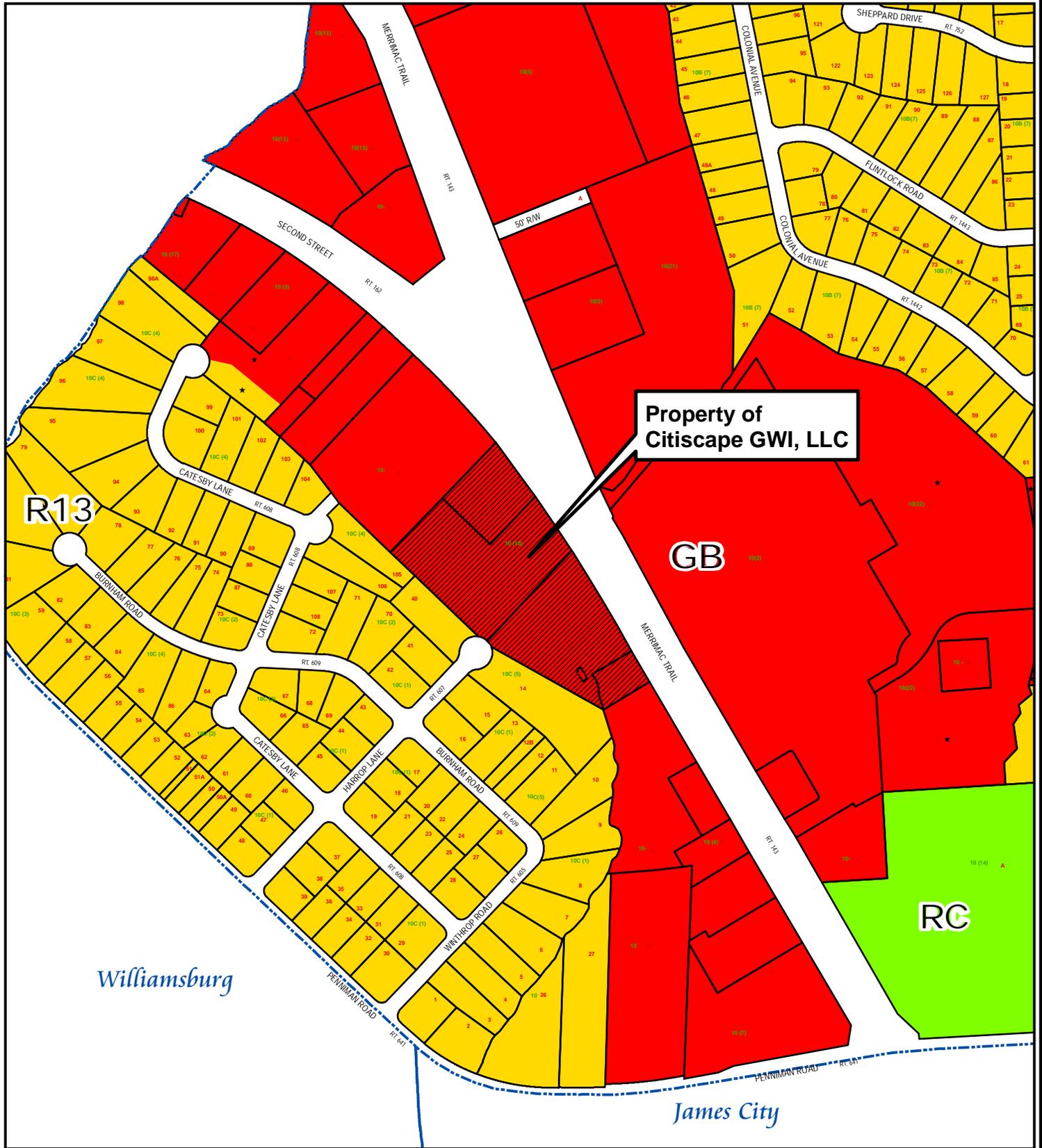
**APPLICANT: Meridian Assisted Living Home, LLC**

Senior Housing - Assisted Living

F14d-2683-2168, F14d-2659-1963,  
F14d-3073-1611, F14d-2905-1756

**ZONING MAP**

**APPLICATION NUMBER: UP-804-12**



R13

Property of  
Citiscape GWI, LLC

GB

RC

Williamsburg

James City



SOURCE: YORK COUNTY GIS PARCEL DATA and ZONING COVERAGE

THIS IS NOT A LEGAL PLAT. This map should be used for information purposes only. It is not suitable for detailed site planning.

# COUNTY OF YORK

## MEMORANDUM

**DATE:** January 31, 2012 (PC Mtg. 2/8/12)  
**TO:** York County Planning Commission  
**FROM:** Amy M. Parker, Senior Planner  
**SUBJECT:** Application No. UP-804-12, Meridian Assisted Living Home, LLC

### ISSUE

This application requests a Special Use Permit, pursuant to Section 24.1-306 (Category 6, No. 3) of the York County Zoning Ordinance, to authorize the redevelopment of an existing hotel (George Washington Inn) for the establishment of a senior housing (assisted living) facility of up to 150 units on a 6.4-acre site located at 500, 512, 516, and 600 Merrimac Trail (Route 143). The properties are located on the south side of Merrimac Trail approximately 550 feet east of its intersection with Second Street (Route 162) and are further identified as Assessor's Parcel Nos. 10-10A, 10-10B, 10-10C, and 10-21.

### DESCRIPTION

- Property Owner: Citiscape GWI, LLC (applicant is contract purchaser)
- Location: 500, 512, 516, and 600 Merrimac Trail (Route 143)
- Area: Four parcels containing 6.4 acres total
- Frontage: Approximately 820 feet on Merrimac Trail and 52 feet on Harrop Lane
- Utilities: Public water and sewer
- Topography: Varied
- 2025 Land Use Map Designation: General Business
- Zoning Classification: GB – General Business
- Existing Development: Vacant hotel
- Surrounding Development:

South: Single-family detached homes; Middletowne Farms subdivision  
West: Motor vehicle dealership  
North: James-York Plaza shopping center and retail stores across Merrimac Trail  
East: CVS Pharmacy

- Proposed Development: 150-unit senior housing assisted living facility, office building, and banquet hall

### **CONSIDERATIONS/CONCLUSIONS**

1. This proposal is to convert the existing vacant George Washington Inn to a senior housing facility containing up to 150 assisted living units, associated staff and support facilities, common areas, five guest suites, and an 8,000-square foot public banquet facility. According to the applicant's floor plans, residential units would be a mix of studio and one bedroom units. The existing 5,125-square foot vacant building at the west side of the property would be used for offices associated with the senior housing use or may be partially leased to tenants not associated with the facility. The proposed gross development density would be 23 units per acre.
2. Section 24.1-411(o) of the Zoning Ordinance was amended in November 2011 to allow flexibility in site design standards for proposals involving redevelopment of hotels. The section provides for "*adjustments in the normally applicable site design requirements such as, but not necessarily limited to, building setbacks, landscape areas, and buffers when such adjustments will allow existing site features and elements to remain and to be incorporated into the new development in an appropriate and acceptable manner, as determined by the Board.*" In accordance with this provision, the applicant is requesting adjustments to various standards, including site perimeter buffers, building perimeter yards, transitional buffers, building height, and gross development density limits.

In staff's opinion, the subject use would blend well with the surrounding mix of commercial and residential development, which includes a single-family residential subdivision, pharmacy, motor vehicle dealership, and shopping center. A senior housing facility would be less intensive than a large hotel, and therefore more compatible with the adjacent residential subdivision.

3. The subject parcels are designated for General Business development in the Comprehensive Plan, where it is considered a part of the Merrimac Trail commercial corridor. The Housing element of the Comprehensive Plan notes the need for senior housing to accommodate the County's aging population, and the proposed development would help to address this growing need. To date, there are four completed senior housing facilities in the County, none of which offer assisted living:

Colonial Harbor congregate care	118 apartment units	Fort Eustis Blvd/Route 17 Yorktown
Heritage Commons independent living	100 apartment units	Commons Way Williamsburg
Verena at the Reserve independent living	120 apartment units	Reserve Way Williamsburg
The Villas at Yorktown independent living	72 condo units (75% complete)	Cook/Falcon Roads Yorktown

4. The existing building (constructed in 1973) and site are nonconforming with respect to Zoning Ordinance landscaping requirements for the site perimeter buffer, transitional buffer along the rear property border, side and front yards, and building perimeter. The potential for additional landscaping is limited by building footprint location, topography, parking needs, emergency and service access to the building, existing utilities, and ingress/egress easements. The applicant is proposing to expand landscape areas such that all required landscaping would be less nonconforming than current conditions.

Additional evergreen plantings are proposed along the rear boundary where the site abuts the R13 zoning district (Middletown Farms). Planting areas are restricted by steep slopes along this boundary and the need for emergency and service access to the rear of the building, which make installation of the typically required Type 50 landscape buffer impractical. Staff is recommending an approval condition requiring landscaping equivalent to a Type 35 transitional buffer and six-foot tall opaque fencing along this property line (as was required for the adjacent motor vehicle dealership property). Additionally, the applicant is proposing a 12,000-square foot garden area (for use by the residents) in the southwest corner of the property.

Existing building perimeter landscaping is limited to narrow beds along a small portion of the front, east corners, and a small portion of the rear of the building. If this were a new senior housing proposal on an undeveloped site, the Zoning Ordinance would require 25-foot wide building perimeter landscape areas. While not meeting current Ordinance standards, the applicant's proposed landscaping on all sides of the building and in interior courtyard areas is a substantial expansion of existing planted areas and, in staff's opinion, is consistent with the adaptive re-use clause that was recently added to the Zoning Ordinance.

The east side yard is almost totally covered by an existing joint ingress/access easement and utility easements. The applicant's landscape plan shows additional plantings in the yard area not encumbered by easements. Approximately half of the west side yard is encumbered by a drainage/utility easement; the applicant is proposing to install substantial landscaping in the remaining yard area.

This site, like many along this section of Merrimac Trail, has an extensive portion of the front landscape area (averaging approximately 40 feet in width along the western half of the property) that is located in the VDOT right-of-way. Staff is of the opinion that it would be acceptable to allow this landscape area to serve as the applicant's effective front landscape yard. The applicant is proposing to plant additional trees and shrubs within this area as well as within the front landscape yard along the eastern end of the site. Additional green space will be created with the elimination of one of the three entrances to the property. With a paved surface of 75 to 90 feet in width and a center median, Merrimac Trail is probably as wide as it will need to be for at least the next twenty (20) years. Therefore, staff is recommending an approval condition which would allow credit for landscaping in the right-of-way toward meeting front yard landscape requirements.

5. A portion of the building is nonconforming with respect to maximum allowable height for new senior housing proposals. One wing of the building is 48 feet in height, while the senior housing Zoning Ordinance regulations limit maximum building height to 45 feet (other permitted uses in the GB District could be as tall as 50 feet). As the applicant has no plans to make any additions or structural alterations to the exterior of the building, staff recommends the height be approved pursuant to the new “flexibility” provisions set forth in Section 24.1-411(o) of the Zoning Ordinance.
6. The applicant is requesting 150 assisted living units, equal to a development density of 23 units per acre, which is slightly higher than the Ordinance limit of 20 units per acre for senior housing. Staff is of the opinion that the increased density, equivalent to an additional 22 units over the Ordinance limit of 128 units on the subject property, can be accommodated on the property without adverse impacts. Given the nature of the facility as one having residents who would not be as active as those occupying a senior housing/independent living facility, the additional density would not, in staff’s opinion, be an issue. Therefore, staff is proposing an approval condition allowing an increased density of up to 23 units per acre.
7. The senior housing provisions of the Ordinance require a minimum of 200 square feet of common active/passive outdoor recreation area per dwelling unit, or in this case, a minimum of 30,000 square feet of area. According to the applicant’s plans, 31,600 square feet of outdoor recreation area is proposed, including community gardens, walking trails, and benches in the central landscaped courtyard. Indoor common amenities would include a dining room, library, billiards room, computer room, exercise room, arts and crafts room, and large multipurpose room.
8. Zoning Ordinance parking standards requires 249 spaces for the proposed combination of assisted living units, office space, and banquet facilities. The applicant has indicated that the separate building to be used as office space will, for the most part, be associated with the facility. However, some office space may also be leased out to tenants not associated with the senior housing facility. Therefore, overall parking requirements have been calculated to include spaces for the office building as a separate use. The applicant’s sketch plan indicates that 112 existing spaces would be retained, and an additional 138 parking spaces would be constructed, bringing the total number of spaces to 250. The applicant is proposing to supplement existing parking lot landscaping with additional plantings, especially along the perimeter of the parking areas
9. The proposed senior housing facility and associated office would generate significantly less traffic than the existing hotel. According to the applicant, and with reference to trip generation rates for “Assisted Living” and “Office” published in the Institute of Transportation Engineers’ (ITE) Trip Generation manual (8<sup>th</sup> edition), the proposed development can be expected to generate approximately 386 trips daily, on average, including 58 trips in the Saturday peak hour. This is well below the threshold for requiring a traffic impact analysis (1,000 trips per day or 100 peak-hour

trips). The 250-room hotel with a 120-seat restaurant would be expected to generate approximately 2,793 trips daily, on average, with 244 Saturday peak hour trips.

10. Existing access to the property includes three driveways exclusively for the hotel and one joint access driveway located at the signalized intersection at the eastern end of the property that serves the subject property, the adjacent drug store, and the County sewer pump station located (on its own parcel) in the southeast corner of the site. The applicant is proposing to eliminate the easternmost of the three driveways on the subject property and convert the asphalt area to green space. Additionally, the applicant is proposing to construct a sidewalk along the front of the parcel that will connect to the existing sidewalk network that currently ends on the western side of the property.
11. Whereas commercial development typically generates tax revenues that exceed the cost of public services they require, residential development is generally considered to have a negative fiscal impact, mainly because of the school costs generated by new housing. The proposed senior housing facility, of course, would not house any school-age children. Nevertheless, it is still important to examine the revenue and service impacts of any proposed residential use in a commercial zoning district.

According to the applicant's fiscal impact study, estimates for the annual costs associated with the assisted living facility (assuming a stabilization year of 2019) are \$89,175, with revenues estimated at \$182,600; thus projecting an annual net fiscal impact of \$93,425. By comparison, annual revenues for the existing hotel and conference center use (assuming a stabilization year of 2015) were estimated at \$103,550 with costs of \$300, or a net annual fiscal impact of \$103,250. Therefore, the net revenues generated by the proposed assisted living facility would be expected to be \$9,825 lower compared with those generated by a reopened hotel.

Revenue estimates were based on the last full year of hotel use on the property. It must be noted that the study assumes a 50% probability that the hotel would remain vacant, and revenue estimates for the hotel use were discounted by 50% to account for this conclusion. Accordingly, without utilizing any discounts, and assuming an active and successful hotel use on the property, the estimated revenue would actually be \$207,100, or \$113,675 higher than the assisted living facility.

## **RECOMMENDATION**

The Zoning Ordinance establishes 62 as the minimum resident age threshold for age-restricted senior housing. According to the U.S. Census Bureau, there were 10,123 York County residents who were at least 62 years old in 2010. This age group, which then constituted 15.5% of the population, will grow significantly in the years ahead as life expectancy increases and the "baby boom" generation reaches its senior years. In staff's opinion, it would be beneficial if York County's housing stock could be diversified and supplemented to better address the special housing needs of this growing sector of the population. The Comprehensive Plan recognizes this need, as did the Commission and the Board of Supervisors in approving Zoning Ordinance text amendments for senior

housing. In addition, the Housing element of the Plan states that senior housing should be targeted to areas where the residents will have easy access to local shopping, services, and, ideally, public transit. This site meets these criteria, in staff's opinion. There are numerous restaurants and shopping areas nearby, and the site is located along Williamsburg Area Transport bus lines. Ambulatory residents would have direct access – at the reduced fare for citizens age 60 and over – to shopping centers and services along the Merrimac Trail, Second Street, Route 5 and Route 60 corridors, as well as indirect access to many other attractions throughout the greater Williamsburg area. In addition, the applicant's project narrative states that transportation service will be provided to the residents.

As the Commission will recall from the 2008 proposal to convert the Ramada Inn 1776 (Bypass Road) into senior housing, many older hotels such as the George Washington Inn are losing their economic viability as a result of the changing tourism market. Although according to the applicant's fiscal impact study, the proposed use would result in a net negative fiscal impact when compared to an active hotel use, given the depressed hotel market and over-abundance of existing hotels in the area, the proposed use (which has a positive fiscal impact in and of itself) would be a benefit to the County.

This proposed adaptive re-use would be compatible with the surrounding area and, although it would be a primarily residential development in an area that the Comprehensive Plan designates for commercial development, it has the advantages of a positive fiscal impact, especially compared to a vacant site, and relatively low traffic generation. For these reasons, staff recommends that the Commission forward this application to the Board of Supervisors with a recommendation of approval subject to the conditions contained in proposed Resolution No. PC12-4.

AMP

Attachments:

- Zoning Map
- Applicant's community impact study
- Applicant's fiscal impact study summary
- Applicant's sketch plan
- Applicant's floor plans
- Proposed Resolution No. PC12-4

# **Community Impact Study**

## *Meridian Assisted Living Home*

### **Special Use Permit Application**

*January 3, 2012*

AES Project Number: W07244-01

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**Prepared By:**



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## **Community Impact Statement For Meridian Assisted Living Home**

### **Request**

Pursuant to an amendment to the York County Zoning Ordinance establishing provisions and performance standards for Senior Housing, Meridian Assisted Living, LLC respectfully requests a Special Use Permit (SUP) to authorize the establishment of a 150 unit assisted living facility on three parcels comprising approximately 6.41 acres located on Merrimac Trail (Route 143) in the Bruton District of York County. The site is currently occupied by the George Washington Inn and Conference Center which will be converted to the proposed assisted living use under this SUP. The site is located on the west side of Merrimac Trail approximately 1200' from its intersection with Penniman Road. The property is further identified by Tax Map numbers, 10-00-00-021, 10-10-00-000A and 10-10-00-000B.

The site is zoned General Business and provisions have been made through amendment to the York County Zoning Ordinance to allow for the proposed use with the approval of a Special Use Permit. The former hotel site is ideally suited for the proposed use and presents a unique opportunity to rehabilitate a property that has recently fallen into disrepair. This project will not create the problems typically associated with high density residential developments such as traffic, noise, or the increased demand for public services and will certainly generate less traffic than the prior hotel use. In 2000, the U.S. Census indicated that the portion of citizens in York County at or beyond the age of 62 constituted 11.5% of the county population. This project meets a need that is growing in this county and throughout the nation. The following Community Impact Statement and accompanying Fiscal Impact Study will further illustrate how this project will have a positive economic impact on the surrounding community and how The Meridian Assisted Living Home will “fit” into its immediate surroundings and the larger context of York County and Williamsburg.

### **Meridian Assisted Living Home, LLC**

Meridian Assisted Living Home, LLC is an Indianapolis based entity with three partners who collectively have over 100 years of experience as high level executives, owners, and principals in a variety of significant real estate ventures and operating businesses. Meridian was recently formed as a special purpose entity. Morgan Burkett, the “hands-on” member of the team who will be overseeing the company’s activities, including this project, has a 20+ year relationship with each of the other two partners, Alan Symons and Mark Riley. Morgan and Mark come from 40 and 30 year career experiences respectively in the hospitality industry. Alan had a 30 year career at a very high executive level in the insurance industry before very successfully moving his focus to the start-up of a venture capital fund about 10 years ago. That fund has invested in 23 companies over the last decade, currently has controlling ownership in 14, and has been hugely successful.

Meridian’s business strategy is to find high quality but financially distressed hotel assets in strategically desirable markets with the intent of buying them and then renovating and converting them to senior living facilities, with a primary focus on assisted living. This property and the Williamsburg/York County market are ideally suited to our business strategy.

The 150 unit facility we intend to convert from the existing 250 hotel rooms and suites will serve the needs of active and cognitive adults who will typically be in their 80s. Our goal is to be moderately priced and at the same time provide the highest quality assisted living facility in the market, in terms of finishes and amenities in the residential units, public space, food and

beverage, variety of activities, and of wellness services. The converted hotel will provide the full spectrum of unit types including studios, one-bedroom, and two-bedroom units. Three scheduled, restaurant-menu-style meals will be served every day but food and beverage services will be provided at no charge 24 hours a day, not unlike a cruise ship. We will provide comprehensive weekly housekeeping with full linen and terry changes, and provide touch-up housekeeping on a daily and/or as needed basis. There will be a plethora of activities on site and we will provide transportation to residents for both scheduled outings and on an as-needed basis for doctor's appointments, shopping, etc.

A partial list of the physical amenities that will support activities on site include:

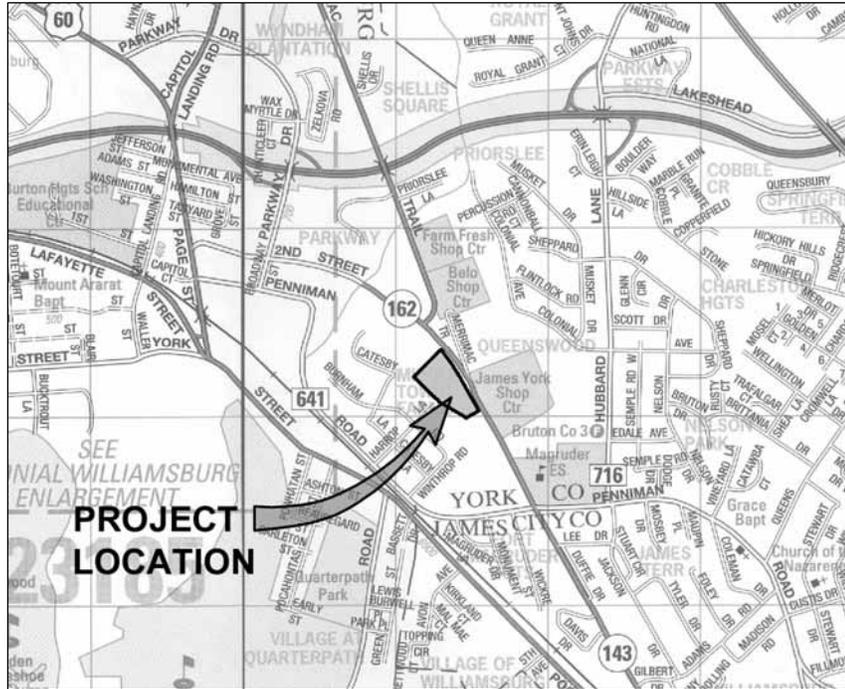
- a large indoor pool contained in a solarium structure with generous deck area and a whirlpool spa that will accommodate up to 10 people at one time. The entire pool will be modified to a depth of 4' for both lap swimming and aqua aerobics.
- a 5,000 square foot, protected courtyard area that will be attractively landscaped and used for a variety of social functions, exercise activities, etc.
- over 14,000 square feet of flexible public space that will be used for various assembly purposes for the residents, including crafts, games, movies, religious services, etc.
- a state-of-the-art fitness center with both aerobic and strength training devices.
- two restaurants and two bars, plus a bistro/café area as part of the main lobby, to provide a variety of food and beverage experiences.
- a walking trail connecting the courtyard space to outdoor garden areas for the use of residents and staff to grow flowers along with organic fruits and vegetables (totaling 20,000 square feet), and making connections to neighboring property and the public sidewalk at the front of the site.

Even though the Meridian principals are seasoned entrepreneurs with great depth of experience in the hospitality industry, a highly similar industry, and a variety of other businesses, we recognize that assisted living is a unique business. Therefore, we have partnered with a highly experienced management company called Paradigm Senior Living ([www.psliving.com](http://www.psliving.com)). The owner and CEO of Paradigm is a 30-year veteran of the senior living industry and he has owned his own company since 1994. The Paradigm website offers a robust recap of their capabilities, current portfolio of projects, and a long list of past satisfied clients. We think they are a perfect fit to advance our objectives for this site and market.

### **Project Team**

Developer/Operator	Meridian Assisted Living Home, LLC Paradigm Senior Living
Land Planning	AES Consulting Engineers
Engineering	AES Consulting Engineers
Fiscal	Ted Figura Consulting
Attorney	Joe Latchum, Williams Mullen

## Location Map



## Building Program

The current structure contains 250 rooms and 22,500 square feet of common areas including a restaurant and bar, meeting and banquet rooms, and an indoor pool. The 250 existing rooms will be reconfigured to 150 assisted living suites and apartments. Approximately 14,500 square feet of the 22,500 total will be converted for use by the residents. The remaining 8,000 square feet will be available to rent to the public for banquets, meetings, and other special functions. The 150 unit facility will contain one bedroom, two bedrooms, and some two bedrooms with den areas. In-house entertainment amenities provided for all residents, supplemental to the areas listed above, are a library and billiards room, an arts and crafts room, and a computer room. A country store will stock gifts and convenience items for residents. A large dining and multipurpose room will be located adjacent to a serving kitchen on the ground floor. A wellness center with a medical examination room will provide a convenient venue for on-site medical visits. A residents' exercise room with weights and exercise equipment will be located on an upper floor. Up to five hospitality suites for visiting guests and family members of residents will also be provided. The facility is fully sprinkled and meets all the latest life safety codes. The horizontal and vertical design of this facility has been planned to optimize private living spaces and their relationships to the services provided within the facility. Twenty-four hour electronic surveillance and/or personnel will monitor the main entrance to the facility as well as select areas of the building through video monitoring. The existing, one story brick building will be repurposed for office and support services for the assisted living facility.

## The Site Plan

The existing site is comprised of 222,279 square feet of impervious surface (79% of the site) including buildings, parking areas, gravel areas, and sidewalks. The proposed plan reduces impervious surfaces by over 5%. Meridian Assisted Living will be buffered from the residential

development at the back of the site by a variable width landscaped buffer. The front of the property currently includes extensive landscaping, much of which is in the VDOT right of way and Meridian plans to add more landscaping along Merrimac Trail. The site is bordered to the east by a CVS Pharmacy and provisions are being made to provide vehicular and pedestrian connections to this complementary land use. The property abuts the Holiday Oldsmobile-Cadillac dealer to the west. The 10' side yard setback will remain, supplemented with additional landscaping to provide a continuous visual screen between the two sites. The landscape concept for the site is shown on sheet #2 of the Conceptual Plan set. Parking has been provided through existing and new spaces to meet York County requirements for the proposed uses including the assisted living component, the support office space, and the 8,000 square foot banquet/meeting space, not included as an assisted living component. Parking at the rear of the existing building has been reduced and reconfigured to accommodate service and loading space, a 12,000 square foot community garden with gazebo, and additional landscaping and buffer area. Other outdoor amenities shown on the conceptual plan include a 5,000 square foot, landscaped courtyard, sidewalks and walking trails, benches and other garden amenities shown on the conceptual landscape plan. The existing parking lot lighting will be utilized and any new outdoor lighting will comply with all current York County standards. Aside from the shared, signalized access to Merrimac Trail at the CVS Pharmacy, three driveways currently serve the site. One of these drives will be closed as indicated on the conceptual plan. A shoulder bike lane will be provided along the Merrimac Trail frontage and a public sidewalk will also be provided.

**Utilities**

The site is served by the City of Williamsburg water supply system and has access to an existing 12" waterline which runs along the southwest side of Merrimac Trail. Given the fact that the water demand will be significantly less with the proposed assisted living use than with the existing hotel use (see Tables 1 and 2 below); there is ample water capacity to serve the assisted living units in lieu of hotel rooms. The removal of restaurants (approximately 282 seats total) from the demand should make the existing water flows and pressures much better for the surrounding users. It is understood that there will be food service provided in the facility, but those flows are included in the demand numbers presented below for the individual assisted living units.

Sanitary sewer service is provided to the site by an existing on-site gravity sewer collection system which will convey wastewater flows to the existing on-site sewage pumping station. This sewage pumping station shall convey the wastewater through an existing 6 inch York County force main which leads off site to the southeast along Merrimac Trail. Given the fact that the sewage demand will be significantly less with the proposed use than with the existing use (see Tables 1 and 2 below); there is sufficient capacity within this system to handle the flows associated with this project.

**Table 1 – Existing Wastewater Flows from George Washington Inn**

Type of Development	Number of Units	Flow (GPD/Unit)	Average Daily Flow (GPD)	Duration (hrs)	Average Flow (GPM)	Peak Flow (GPM)
Hotel	250 rooms	130	32,500	24	22.57	67.71
Restaurant	*282 seats	30	8,460	16	8.81	26.44
<b>TOTAL</b>			<b>40,960</b>		<b>31.38</b>	<b>94.15</b>

\*Includes 120 seats from the detached restaurant and 162 seats from the restaurant within the hotel.

**Table 2 – Projected Wastewater Flows from Meridian Assisted Living Home**

Type of Development	Number of Units	Flow (GPD/Unit)	Average Daily Flow (GPD)	Duration (hrs)	Average Flow (GPM)	Peak Flow (GPM)
Assisted Living	150 beds	160	24,000	24	16.67	50.00
Office	5,125 sf	0.1	513	12	0.71	2.14
<b>TOTAL</b>			<b>24,513</b>		<b>17.38</b>	<b>52.14</b>

### Stormwater Management

This project is not located in any of the York County Watershed Management and Protection Area Overlay Districts and is therefore not subject to any special stormwater management criteria. Due to the project’s location within the Chesapeake Bay Resource Management Area (RMA) buffer and the fact that this is considered a redevelopment site, a 10% pollutant reduction is required. A combination of impervious cover reduction and provision of low impact design features (LID) will be used to achieve the required pollutant reduction. The site is located outside of the Chesapeake Bay Resource Protection Area (RPA) and there are no wetlands on site.

Using the CBLAD calculation method the pre-development phosphorous load is 10.08 pounds while the post-development pollutant load is 10.46 pounds, which yields a net pollutant removal required of 0.38 pounds. The combination of the impervious cover reduction in conjunction with a proposed bioretention facility shall provide for the removal of the remaining 0.38 pounds. The following table shows the detailed CBLAD calculations. Please note that this example illustrates the use of a bioretention cell, but alternative LID features may be used in the final design to meet the requirements.



Project:	<b>Meridian Assisted Living</b>
Project No.:	<b>7244-01</b>
Subject:	<b>Water Quality Calcs - Situation 3</b>
Date:	<b>January 3, 2012</b>
Calculated By:	<b>AES</b>

**Performance-Based Water Quality Calculations - Situation 3**  
 (Appendix 5D - Virginia Stormwater Management Handbook Volume II)

**STEP 1**

<b>6.41</b> Acres	Applicable Area
<b>4.74</b> Acres	Post-development Impervious Cover
<b>73.95</b> %	$I_{post}$ (Total Post-development Impervious Cover / A x 100)

**STEP 2**

<b>16.00</b> %	$I_{watershed}$
<b>5.10</b> Acres	Existing Impervious Cover
<b>79.56</b> %	$I_{existing}$ (Total Existing Impervious Cover / A x 100)

**STEP 4**

$L_{pre(existing)}$  = relative pre-development total pollutant load

$$L_{pre(existing)} = [ 0.05 + ( 0.009 \times \frac{I_{existing}}{79.56} ) ] \times \frac{A}{6.41} \times 2.28$$

$L_{pre(existing)}$  = **11.20** pounds per year

$L_{pre(watershed)}$  = relative pre-development total pollutant load

$$L_{pre(watershed)} = [ 0.05 + ( 0.009 \times \frac{I_{watershed}}{16.00} ) ] \times \frac{A}{6.41} \times 2.28$$

$L_{pre(watershed)}$  = **2.84** pounds per year

**STEP 5**

$L_{post}$  = relative post-development total pollutant load

$$L_{post} = [ 0.05 + ( 0.009 \times \frac{I_{post}}{73.95} ) ] \times \frac{A}{6.41} \times 2.28$$

$L_{post}$  = **10.46** pounds per year

**STEP 6**

RR = relative pollutant removal requirement

$$RR = \frac{L_{post}}{10.46} - \frac{(0.9 \times L_{pre(existing)})}{10.08}$$

RR = **0.38** pounds per year

## Traffic Generation

This assisted living community will generate significantly less traffic than the existing hotel use has generated when the hotel was in successful operation in the past. The average daily traffic generation, based on the Institute of Transportation Engineers Trip Generation Manual (ITE) 8th edition, is approximately 7 times less for the assisted living use than the hotel use and the peak hour of generator on a Saturday is over 4 times less. Since the traffic impacts are significantly less with the proposed use a formal traffic study has not been provided. Please see the traffic generation comparison chart below.

Table 3 Traffic Generation

	Average Daily Traffic Trips/Day	Saturday Peak Hour of Generator Trips/Hour	ITE Land Use Code
<b>Existing Use</b>			
250 Room Hotel	2048	180	310
120 Seat Restaurant	745	64	932
<b>Total</b>	2793	244	
<b>Proposed Use</b>			
150 Unit Assisted Living	330	50	254
5,125 S.F. Office	* 56	* 8	710
<b>Total</b>	386	58	

\* On a Weekday

## Fiscal and Economic Impacts

A Fiscal Impact report, completed by Ted Figura Consulting is provided under separate cover.

## Emergency and Life Safety

Meridian is dedicated to the safety and security of its residents on a 24/7 basis. We have comprehensive standard operating and emergency procedures to care for our residents at all hours which take into account all possible contingency situations that might arise.

Before purchasing the building, all fire, ADA, and life safety issues will be addressed in compliance with the latest codes. The items below reflect the current state of compliance:

- The building is equipped with an automatic sprinkler system throughout the property.
- The building already has a standpipe system installed.
- All five elevators will accommodate a stretcher or gurney.
- All common areas currently have visible and auditory fire alarms.
- Each room has a smoke detector that is hard wired to a panel monitored 24 hours per day; all smoke detectors have a battery backup as well.
- There are pull stations throughout the property that are compliant to codes.
- The fire alarm and sprinkler alarm system are both monitored by an annunciation panel at the front desk that precisely identifies the source of fire or smoke. The desk is staffed 24/7.
- The fire alarm system has a primary power supply.
- The hotel currently has three fire doors on all guest floors. All fire exits are in compliance with the latest codes.

- There is a manual fire alarm box by every stairwell.
- There are three fire hydrants, located across the frontage of the site, which serve the project. There is 360 degree vehicular access around the building capable of accommodating fire fighting apparatus.

As part of Meridian's comprehensive renovation and conversion of the property to an assisted living use, we will be doing the following:

- The phone system will be programmed with a 911 call button.
- The fire alarm system will have a secondary power supply.
- We will install pull cords in the bathrooms and next to the bed in each unit. All residents will also receive and be required to wear an emergency call pendant with GPS tracking so that we can help them within minutes of being notified of an emergency, wherever they are in the building.
- We will be reviewing all state or county required code upgrades that are unique to an assisted living use with our management company and our contractor to make sure every code compliance item is thoroughly addressed, whether it is a physical modification or an operational procedure.

### **York County Performance Standards**

This proposal for an assisted living facility meets the development standards set forth in Section 24.1-411 – Standards for Senior Housing (Housing for Older Persons).

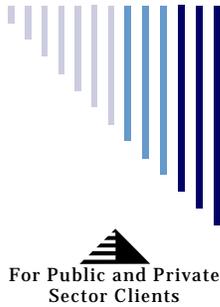
- The site is served by public water and sewer.
- While the density proposed exceeds 20 units per acre (23.4 units per acre) this proposal involves the adaptive re-use of a structure formerly used as a hotel containing 250 rooms and over 22,000 square feet of internal common area. The proposed reduction to 150 units will make more efficient use of the existing structure and paragraph (o) of the ordinance allows the Board of Supervisors the flexibility to make adjustments to these performance standards for such adaptive re-use.
- The conceptual plan illustrates how this project can be designed to promote harmonious relationships with surrounding properties.
- The existing structure exceeds the height restriction of 45', measuring 48' at its highest point in one wing. The applicant seeks relief from this requirement via paragraph (o). This facility will have enclosed or covered corridors leading to all units and internal common areas. The existing main entrance to the hotel will serve as the main entrance to this facility and this entrance shall be monitored at all times. This facility will include up to 14,500 square feet of common meeting/activity spaces for use by the assisted living residents.
- The conceptual plan illustrates how impervious surfaces have been reduced and, wherever possible, additional perimeter buffer has been provided. The applicant respectfully asks the Board through the flexibility provided to it through paragraph (o) of this section to permit lesser buffer widths for this adaptive re-use.

- The site constraints of the existing hotel layout limits the applicant’s ability to comply with a 25’ building perimeter buffer and we respectfully request that the Board allow the perimeters shown on the conceptual plan per paragraph (o).
- The exterior areas for active and passive activities are shown on the conceptual plan and contain a minimum of 30,000 square feet.
- A narrative is included in the body of this report, outlining operational procedures that will ensure the safety of residents in the event of fire or other emergencies.
- All “new” drives and parking areas shall be constructed in accordance with Virginia Department of Transportation specifications.
- This adaptive re-use will utilize the existing storm sewer system on site and a small bioretention facility as needed to meet York County stormwater management requirements for redevelopment.
- The parking requirements and provisions for this site are noted on the conceptual plan and comply with the provisions of section 24.1-608.
- All new outdoor lighting proposed for parking areas and pedestrian circulation routes will comply with the standards set out in Section 24.1-260 (f) of his chapter.
- This application will comply with the applicable provisions and requirements of Chapter 49, Continuing Care Provider Registration and Disclosure, of the Code of Virginia.
- This Community Impact Statement is for the purposes of analyzing the probable impacts of the project on the community over time.
- The applicant respectfully requests that the board provide flexibility in the interpretation and enforcement of those items addressed above with the understanding that the proposed use is an adaptive re-use of an existing hotel property.

## **Conclusion**

In conclusion, Meridian Assisted Living feels that this site on Merrimac Trail in York County is ideally suited for use as an assisted living community. We feel that this is the highest and best use of the property at this stage of its life-cycle. This proposal addresses a need as outlined in the Comprehensive Plan as recognized by the Board of Supervisors. The site can be developed responsibly within the guidelines and Performance Standards of the Zoning Ordinance without placing an undue burden on public facilities and without detracting from neighboring land uses and the ambiance of the York County and Williamsburg area. We respectfully request a recommendation of approval of this request for a Special Use Permit to allow this project within the General Business zoning district at 500, 512 ,516, and 600 Merrimac Trail.

*EXCERPT*



# **Meridian Assisted Living Home**

## **Fiscal Impact Study**

York County, Virginia

**Prepared by**

Ted Figura Consulting

**For**

**Meridian Assisted Living Home, LLC**

Indianapolis, Indiana

Revised  
**January 30, 2012**

## **The Meridian ALH: Fiscal Impact Analysis**

### Executive Summary

The proposed project to be developed under the rezoning requested for the Meridian Assisted Living Home (Meridian ALH) has been determined to have a positive net fiscal impact for York County. A fiscal impact analysis calculated all known direct costs and revenues to the County that would result from the development of the Meridian ALH as now proposed.

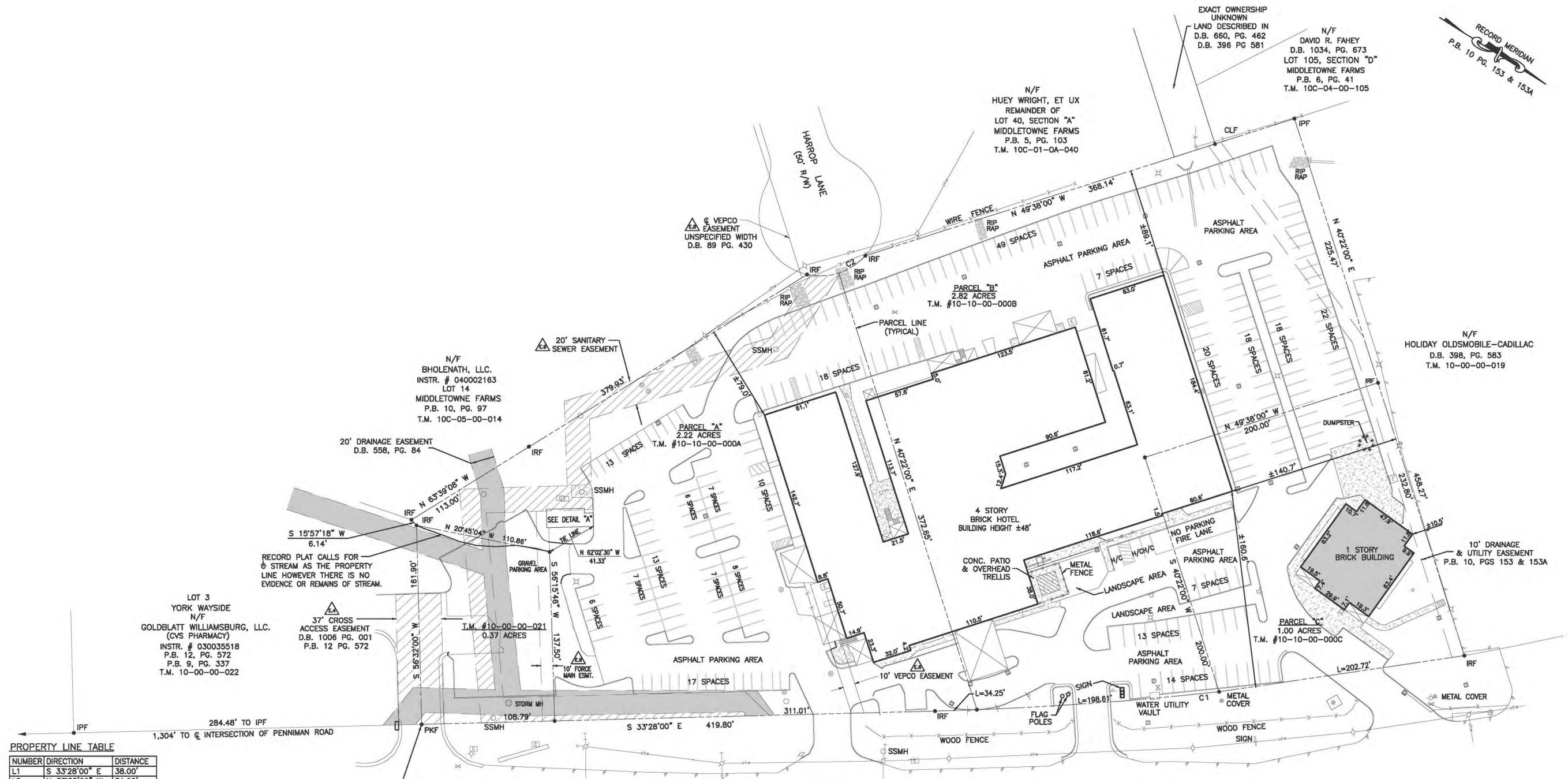
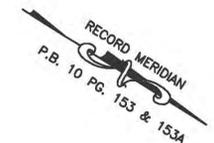
The Meridian ALH property is proposed to be rezoned from General Business to General Business-Special Use Permit zoning. This will permit the renovation of the former George Washington Inn and Conference Center (GW Inn) from a 250-room middle-market motel (with conference center/ballroom space and an adjoining former restaurant converted to a timeshare sales office) to an assisted living facility with 150 one-bedroom and two-bedroom units. The Applicant will also return the former GW Inn's conference center space to its former use as a for-rent community facility and will convert the former timeshare sales office to medical offices serving Meridian ALH residents and the general population.

The project, taken by itself, has positive benefits for the County. Over the 10-year analysis period, it yields more than \$1.4 million in new revenue for the County. Balancing this, the project generates about \$666,000 in new costs for the County. The 10-year surplus of revenue over costs is almost \$825,000 and the County receives \$2.24 for every \$1.00 spent in support of the Meridian ALH. After adjusting for risk and cannibalization, the County would receive less surplus revenue from a return of the GW Inn to its former use (the currently permitted use) without a rezoning.

However, when its net fiscal impact is calculated, the Meridian ALH is estimated to have an annual negative net fiscal impact of \$9,825 in 2012 dollars in its stabilization year and thereafter. The net fiscal impact reflects the difference between the fiscal impacts of the Meridian ALH and the currently permitted use. Over the analysis period, the cumulative net fiscal impact is expected to be about \$75,000 less in net revenues to the County than would be generated by the currently permitted use. The net benefit-to-cost ratio for the project (a measure of the County's return on investment), is 0.89 to-1, indicating somewhat lower revenues flowing to the County than would be experienced under the potential return of the property to its former use.

It should be recognized that the project, itself, generates a significantly positive cash flow for the County and the fiscal impact is negative only in comparison with the potential revenues that might be generated by a return of the property to its former use. Furthermore, the cause of the negative net fiscal impact is the projected cost of providing Emergency Services to residents of the Meridian ALH. This does not take into account the likely reduction in Emergency Services responses due to the transportation of conscious and ambulatory Meridian ALH residents to appropriate medical facilities—incidents that would, otherwise, be handled by the County's Emergency Services. If Meridian staff handled just 16.5% of the number of Emergency Services incidents used in this fiscal impact analysis, or if the actual number of Emergency Services incidents were at the lower end (7%) of the Fire Chief's estimate of increased incidents at Fire Station 3, the net fiscal impact for this project would be positive.

Besides the positive fiscal benefit to the County of the project taken by itself, the proposed project would positively affect the hospitality industry in the greater Williamsburg area. The permanent removal of 250 motel rooms from the market would relieve some of the overbuilt condition which is generally acknowledged by the hospitality industry as contributing to the relatively poor economic performance of the industry in the Williamsburg area. A healthier hospitality sector would benefit motels located in York County near Williamsburg.

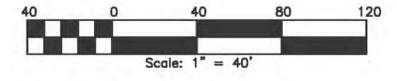


**PROPERTY LINE TABLE**

NUMBER	DIRECTION	DISTANCE
L1	S 33°28'00" E	38.00'
L2	N 33°28'00" W	31.00'
L3	S 56°32'00" W	15.00'
L4	S 56°32'00" W	4.00'
L5	S 33°28'00" E	7.00'
L6	S 56°32'00" W	11.00'

**PROPERTY LINE CURVE TABLE**

NUMBER	DELTA	CHORD BEARING	TANGENT	RADIUS	ARC CHORD
C1	08°55'46"	S 37°55'53" E	218.23	2794.93	435.58 / 435.14
C2	60°00'01"	N 49°38'00" W	28.87	50.00	52.36 / 50.00



NOTE: SURVEY INFORMATION PROVIDED BY LANDTECH, INC.

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Rev.	Date	Description	By
01	1-30-12	REVISED PER COUNTY COMMENTS	JSP

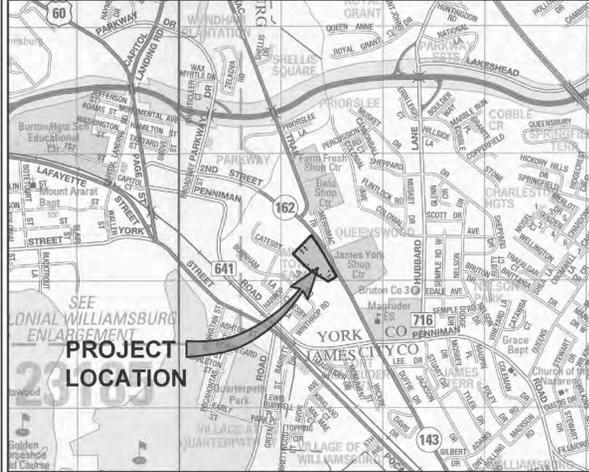


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EXISTING CONDITIONS  
**MERIDIAN ASSISTED LIVING HOME**  
 BRUTON DISTRICT YORK COUNTY VIRGINIA

Project Contacts: JSP / GRR  
 Project Number: 7244-01  
 Scale: 1"=40' Date: 1-03-12  
 Sheet Number  
**3 of 3**

**VICINITY MAP**  
(SCALE: 1"=1,500')



Map Copyright © Kappa Map Group LLC  
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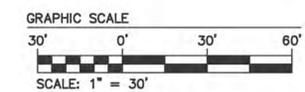
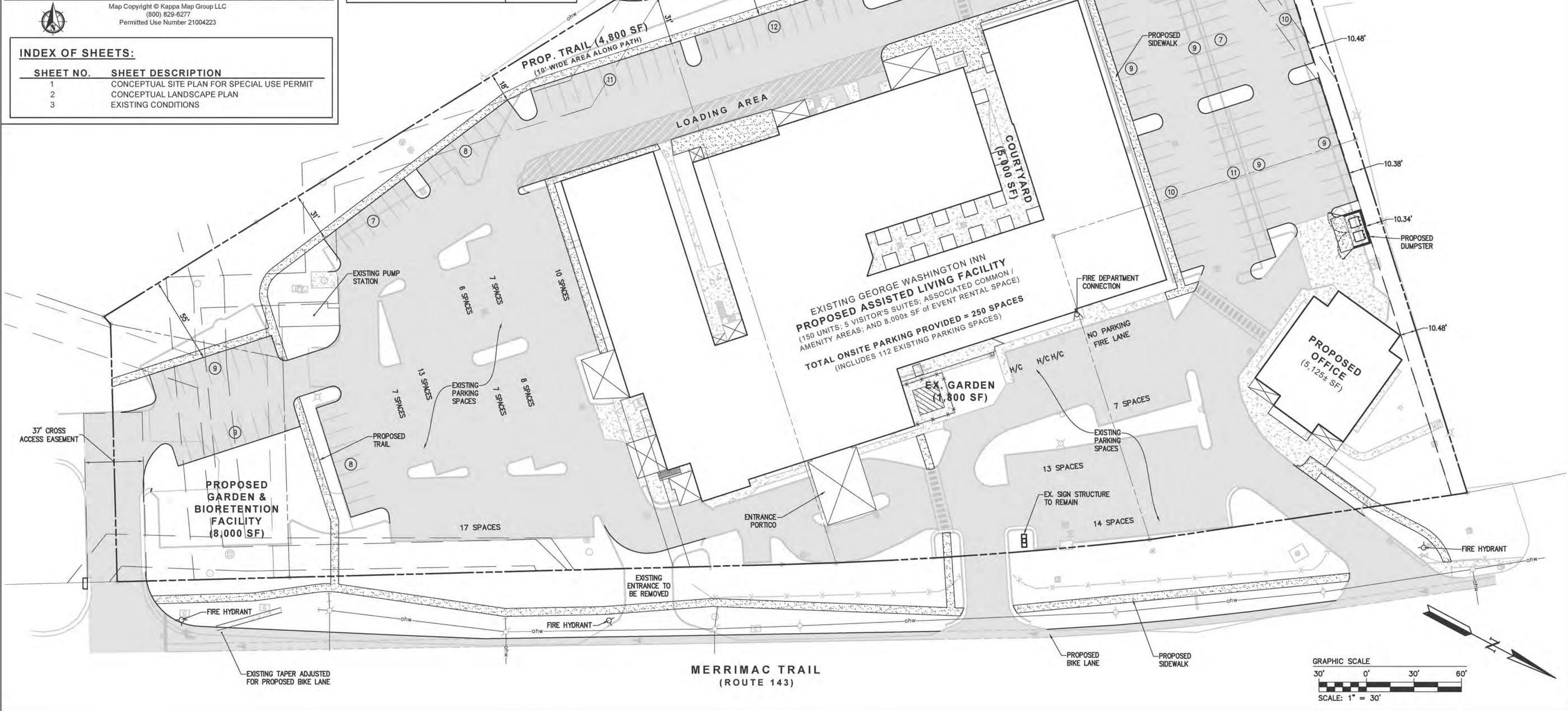
**DEVELOPMENT TABULATIONS**

<b>Zoning: GB (General Business District)</b>	
GPIN No: F14d-3073-161; F14d-2905-1756; F14d-2659-1963; F14d-2683-2168	
<b>Total Site Area:</b>	6.4± AC
<b>Net Density (150 units / 6.4 ac)</b>	23.4 DU per AC
<b>PARKING TABULATIONS</b>	
Existing parking spaces to remain:	112 spaces
Proposed parking spaces:	138 spaces
<b>Total spaces provided:</b>	<b>250 spaces</b>
<b>Total spaces required:</b>	<b>249 spaces*</b>
<b>IMPERVIOUS AREA</b>	
PRE (SUP) IMPERVIOUS AREA:	5.1± AC (80%)
POST (SUP) IMPERVIOUS AREA:	4.7± AC (73%)
<b>EXTERIOR ACTIVITIES AREAS</b>	
AREA REQUIRED (200 SF PER UNIT):	30,000 SF
AREA PROVIDED:	31,600 SF

<b>REQUIRED PARKING TABULATIONS</b>	
Assisted living units (1 space per 2 units):	75 spaces (150 units)
Guest parking (1 space per 6 units):	25 spaces (150 units)
Visitor's suites (no req.):	N/A (5 Suites)
Associated common areas (no req.):	N/A (12,000± sf)
Event rental space (1 space per 60 sf):	134 spaces (8,000± sf)
Office space (1 space per 350 sf):	15 spaces (5,125± sf)
<b>TOTAL PARKING REQUIRED:</b>	<b>249 SPACES</b>

**INDEX OF SHEETS:**

SHEET NO.	SHEET DESCRIPTION
1	CONCEPTUAL SITE PLAN FOR SPECIAL USE PERMIT
2	CONCEPTUAL LANDSCAPE PLAN
3	EXISTING CONDITIONS



Rev.	Date	Description	Revised By
01	1-30-12	REVISED PER COUNTY COMMENTS	JSP



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CONCEPTUAL SITE PLAN FOR SPECIAL USE PERMIT  
MERIDIAN ASSISTED LIVING HOME  
BRUTON DISTRICT YORK COUNTY VIRGINIA

Project Contacts: JSP / GRR  
Project Number: 7244-01  
Scale: 1"=30' Date: 1-03-12  
Sheet Number  
**1 of 3**

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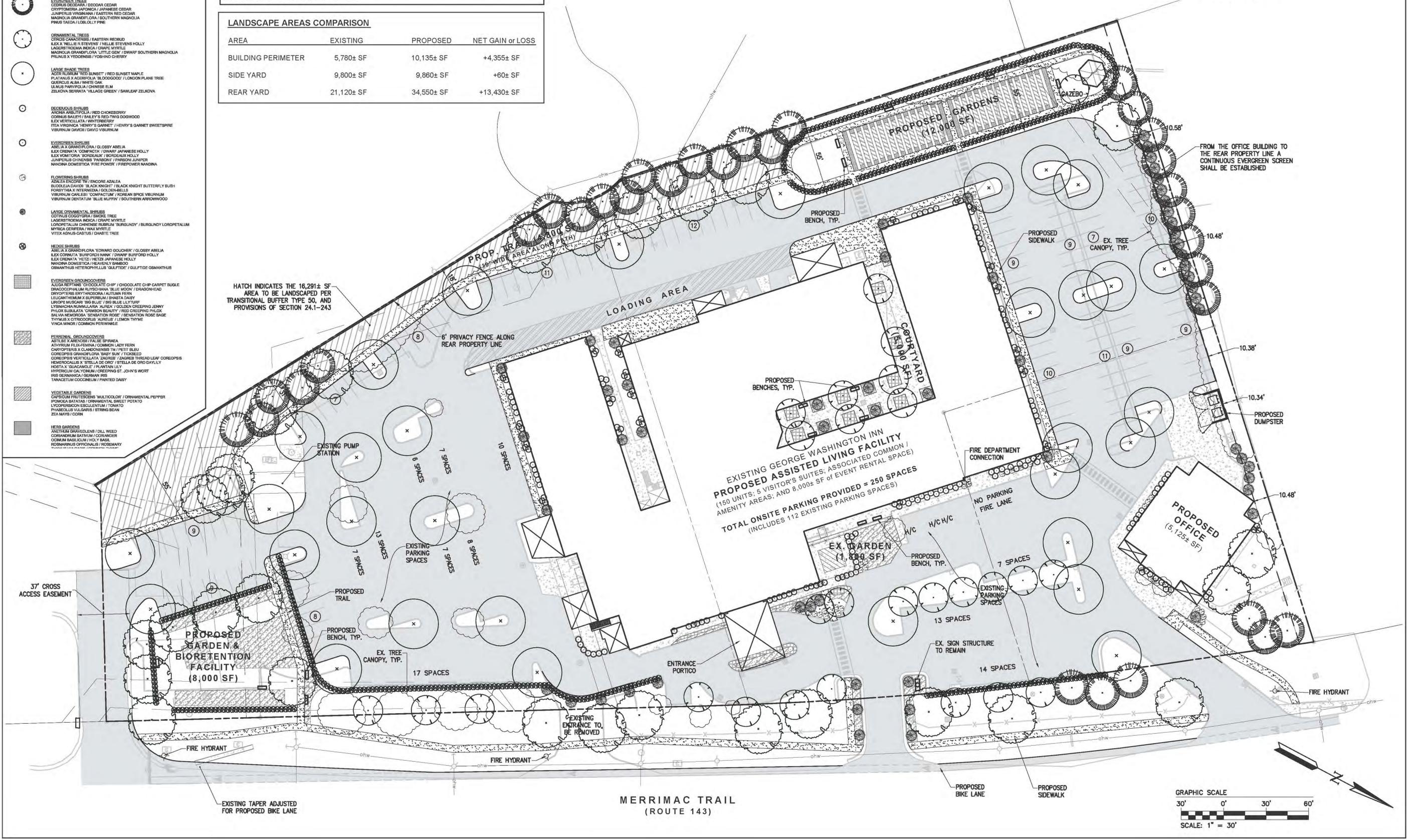
CONCEPT PLANT SCHEDULE

-  DECIDUOUS TREES  
 ACER FRAXINOSA / COMMON HORNBEAM / COMMUNICATION SUGAR MAPLE  
 BETULA NIGRA / DURHAM BEAT / DURHAM RIVER BIRCH  
 FRAXINUS PRINCEPS / AMERICAN BIRCH  
 QUERCUS PHellos / WILLOW OAK  
 SALIX BABINGTONIA / WEEPING WILLOW
-  EVERGREEN TREES  
 CEDRUS DEODARA / DEODAR CEDAR  
 CRYPTOMERIA JAPONICA / JAPANESE CEDAR  
 JUNIPERUS VIRGINIANA / EASTERN RED CEDAR  
 MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA  
 PINUS TAEDA / LOBLOLLY PINE
-  ORNAMENTAL TREES  
 CERCIS CANADENSIS / EASTERN REDBUD  
 ILEX NELLIE R STEVENS / NELLIE STEVENS HOLLY  
 LAGARISTROBIA INDICA / GRAPE MYRTLE  
 MAGNOLIA GRANDIFLORA / LITTLE CLEM / DWARF SOUTHERN MAGNOLIA  
 PRUNUS X YEDONENSIS / CHERRY
-  LARGE SHADE TREES  
 ACER RUBRUM / RED SUNSET / RED SUNSET MAPLE  
 PLATANUS X ACERIFOLIA / BLOODGOOD / LONDON PLANE TREE  
 QUERCUS ALBA / WHITE OAK  
 ULMUS PARVIFOLIA / CHINESE ELM  
 ZELKOVA SERVATA / YALAGRE GREEN / SANJULAF ZELKOVA
-  DECIDUOUS SHRUBS  
 ARNICA ARBUTIFOLIA / RED CHOKEBERRY  
 CORNUS BAILEYI / BAILEY'S RED-TWIG DOGWOOD  
 ILEX VERTICILLATA / WINTERBERRY  
 ITEA VIRGINICA / HENRY'S GARNET / HENRY'S GARNET SWEETSPICE  
 VIBURNUM DAVIDI / DAVID VIRIBNUM
-  EVERGREEN SHRUBS  
 ABELIA X GRANDIFLORA / GLOSSY ABELIA  
 ILEX CORNUTA / COMPACTA / DWARF JAPANESE HOLLY  
 ILEX VOMITORIA / TORONTO / BOSTONIA HOLLY  
 JUNIPERUS CHINENSIS / PARSONI / PARSONI JUNIPER  
 NANDINA DOMESTICA / FIRE POWER / FIREPOWER NANDINA
-  FLOWERING SHRUBS  
 AZALEA ENCORE TM / ENCORE AZALEA  
 BUDELEA DAVOURI / BLACK KNIGHT / BLACK KNIGHT BUTTERFLY BUSH  
 FOREYTHIA X INTERMEDIA / GOLDEN BELLS  
 VIBURNUM CARLESI / COMPACTUM / FOREYTHIA SPRUCE VIBURNUM  
 VIBURNUM DENTATUM / BLUE MUFFIN / SOUTHERN ARROWWOOD
-  LARGE ORNAMENTAL SHRUBS  
 COTYNUIS COCCYNGRATA / SMOKE TREE  
 LAGARISTROBIA INDICA / GRAPE MYRTLE  
 LOROPETALUM CHINENSIS RUBRUM / BURGUNDY / BURGUNDY LOROPETALUM  
 MYRTICA GERIPERA / MAX MYRTLE  
 VITEX AGNUS CASTI / CHASTE TREE
-  HERB SHRUBS  
 ABELIA X GRANDIFLORA / EDWARD GOLDSCHER / GLOSSY ABELIA  
 ILEX CORNUTA / BUNFORDIANA / DWARF BUNFORD HOLLY  
 ILEX CORNUTA / HETZ / HETZ JAPANESE HOLLY  
 NANDINA DOMESTICA / HEAVENLY BAMBOO  
 OSMANTHUS HETEROPHYLLUS / GULF TIDE / GULF TIDE OSMANTHUS
-  EVERGREEN GROUNDCOVERS  
 ALLOA REPENS / CHOCOLATE CHIP / CHOCOLATE CHIP GARRET BUGLE  
 BRICKTOPALUM RUTICORNIS / BRICK TOP / DRAGONHEAD  
 DRYOPTERIS ERYTHRODORA / AUTUMN FERN  
 ELICANTHERUM X SUPERBUM / BRISTLE DANIEL  
 LIRIOPE MUSCARI / BIG BLUE / BIG BLUE LILY TURP  
 LYONARIA NIMULIFLORA / ALMA / GOLDEN CREEPING JENNY  
 PHLOX SUBULATA / CRIMSON BEAUTY / RED CREEPING PHLOX  
 SALVA NEMOROSA / SWEETENED ROSE / SWEETENED ROSE BAG  
 THYMUS X COTYDORUS / AUREUS / LEMON THYME  
 VINCA MINOR / COMMON PERIWINKLE
-  PERENNIAL GROUNDCOVERS  
 ADIUM X ARENDSI / FALSE SPHAGNUM  
 AETHIOPAS FLUGGIANA / COMMON LADY FERN  
 CANTOPHYS X CLANDONENSIS / PETTIT BLUE  
 COREOPSIS GRANDIFLORA / BABY SUN / TICKSEED  
 COREOPSIS VERTICILLATA / ZAGREB / ZAGREB THREAD LEAF COREOPSIS  
 HEUCHERELLA X IETELLA DE ORO / IETELLA DE ORO DAWLEY  
 HOSTA X GUACAMOLE / PLANTAIN LILY  
 HYDRICUM CALYCOMI / CREEPING ST. JOHN'S WORT  
 IRIS GERMANICA / GERMAN IRIS  
 THAMNOCYBUS COCCINEUM / PINKED DANBY
-  VEGETABLE GARDENS  
 CAPSICUM FRUTESCENS / MULTICOLORED / ORNAMENTAL PEPPER  
 PROMOSA SATIVUM / ORNAMENTAL SWEET POTATO  
 LYCOPERSICON ESCULENTUM / TOMATO  
 PHYSCALUS VILGARI / STRING BEAN  
 ZEA MAYS / CORN
-  HERB GARDENS  
 ANETHUM GRAVEOLENS / DILL WEED  
 CORIANDRUM SATIVUM / CORIANDER  
 OCIMUM BASILICUM / HOLY BASIL  
 ROSMARIANUS OFFICINALIS / ROSEMARY

NOTE: THE PLANT LOCATIONS AND QUANTITIES SHOWN ON THIS PLAN ARE FOR CONCEPTUAL PURPOSES ONLY. ALL FINAL LOCATIONS AND QUANTITIES SHALL BE DETERMINED DURING THE SITE PLANNING PROCESS AND ARE SUBJECT TO CHANGE. THE FINAL LANDSCAPE PLAN SHALL BE BASED ON YORK COUNTY REQUIREMENTS AND APPROVED BY YORK COUNTY STAFF.

LANDSCAPE AREAS COMPARISON			
AREA	EXISTING	PROPOSED	NET GAIN or LOSS
BUILDING PERIMETER	5,780± SF	10,135± SF	+4,355± SF
SIDE YARD	9,800± SF	9,860± SF	+60± SF
REAR YARD	21,120± SF	34,550± SF	+13,430± SF

UP-804-12  
 Meridian Assisted Living Home LLC  
 Received by York County Planning Division  
 January 30, 2012



HATCH INDICATES THE 16,291± SF AREA TO BE LANDSCAPED PER TRANSITIONAL BUFFER TYPE 50, AND PROVISIONS OF SECTION 24.1-243

FROM THE OFFICE BUILDING TO THE REAR PROPERTY LINE A CONTINUOUS EVERGREEN SCREEN SHALL BE ESTABLISHED

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Rev.	Date	Description	Revised By
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CONCEPTUAL LANDSCAPE PLAN  
 MERIDIAN ASSISTED LIVING HOME  
 BRUTON DISTRICT YORK COUNTY VIRGINIA

Project Contacts: JSP / GRR  
 Project Number: 7244-01  
 Scale: Date: 1"=30' 1-03-12  
 Sheet Number  
**2 of 3**



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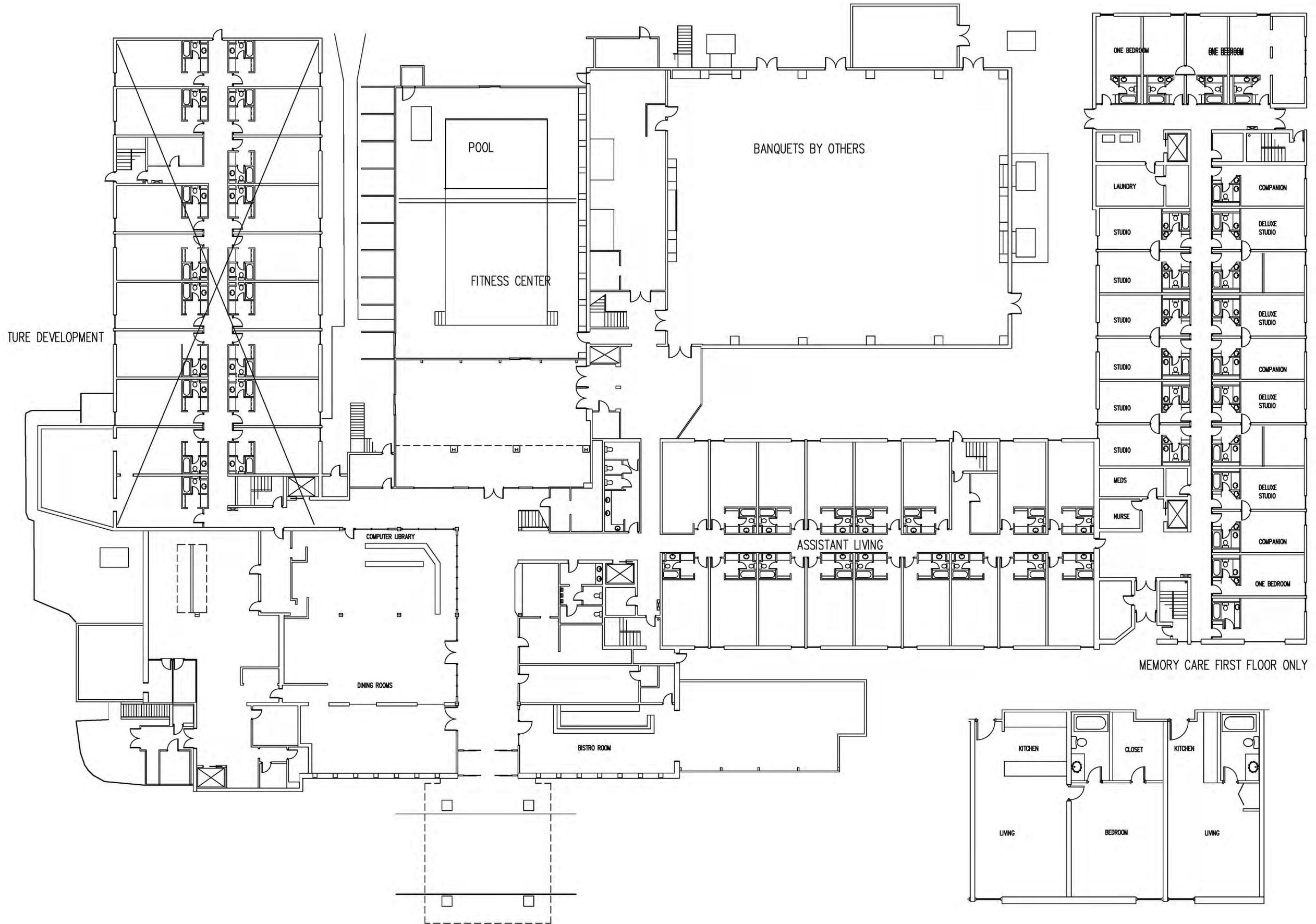
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RENDERED CONCEPTUAL LANDSCAPE PLAN  
 MERIDIAN ASSISTED LIVING HOME

BRUTON DISTRICT YORK COUNTY VIRGINIA

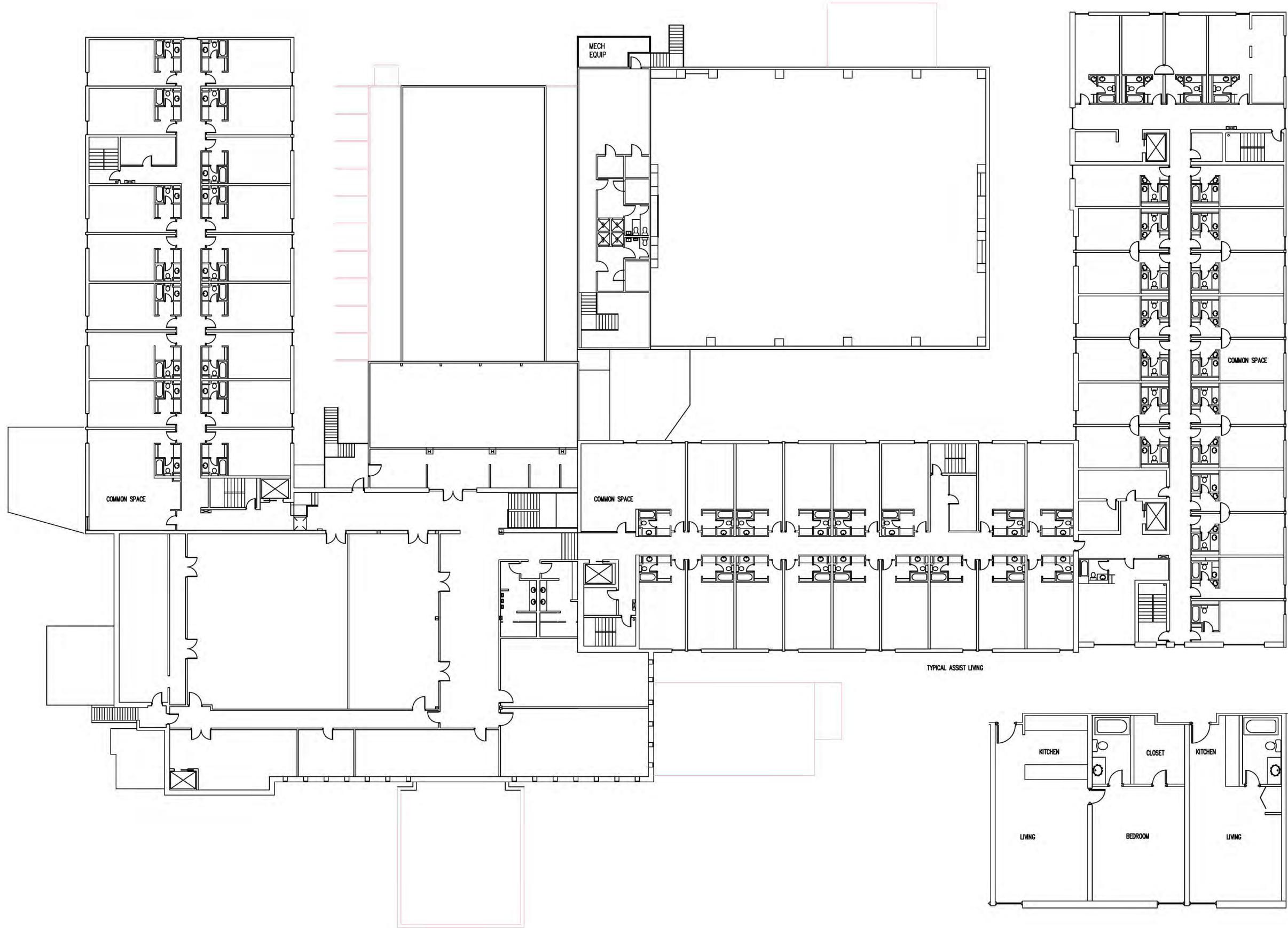
Project Contacts:	JSP / GRR
Project Number:	7244-01
Scale:	1"=30'
Date:	1-03-12
Sheet Number:	1 of 1



**FIRST FLOOR PLAN**  
 SCALE : 3/32" = 1'-0"

TYPICAL ONE BEDROOM  
 755 SF

TYPICAL STUDIO  
 360 SF



**SECOND FLOOR PLAN**

SCALE : 3/32" = 1'-0"

TYPICAL ONE BEDROOM  
755 SF

TYPICAL STUDIO  
360 SF

PLANNING COMMISSION  
COUNTY OF YORK  
YORKTOWN, VIRGINIA

Resolution

At a regular meeting of the York County Planning Commission held in the Board Room, York Hall, Yorktown, Virginia, on the \_\_\_\_ day of \_\_\_\_\_, 2012:

---

Present

Vote

M. Sean Fisher, Chair  
Richard M. Myer, Jr., Vice Chair  
Christopher A. Abel  
Alexander T. Hamilton  
Mario C. Buffa  
Melissa S. Magowan  
Mark B. Suiter

---

On motion of \_\_\_\_\_, which carried \_\_\_\_, the following resolution was adopted:

A RESOLUTION TO RECOMMEND APPROVAL OF A SPECIAL USE PERMIT TO AUTHORIZE REDEVELOPMENT OF AN EXISTING HOTEL (GEORGE WASHINGTON INN) FOR THE ESTABLISHMENT OF A SENIOR HOUSING ASSISTED LIVING FACILITY OF UP TO 150 UNITS AT 500, 512, 516, AND 600 MERRIMAC TRAIL

WHEREAS, Meridian Assisted Living Home, LLC has submitted Application No. UP-804-12 to request a Special Use Permit, pursuant to Section 24.1-306 (Category 6, No. 3) of the York County Zoning Ordinance, to authorize the redevelopment of an existing hotel (George Washington Inn) for the establishment of a Senior Housing, Assisted Living facility of up to 150 units on property located at 500, 512, 516, and 600 Merrimac Trail (Route 143) and further identified as Assessor's Parcel Nos. 10-10A (GPIN F14d-2905-1756), 10-10B (GPIN F14d-2659-1963), 10-10C (GPIN F14d-2683-2168), and 10-21 (GPIN F14d-3073-1611); and

WHEREAS, said application has been forwarded to the York County Planning Commission in accordance with applicable procedure; and

WHEREAS, the Planning Commission has conducted a duly advertised public hearing on this application; and

WHEREAS, the Commission has given careful consideration to the public comments with respect to this application;

NOW, THEREFORE, BE IT RESOLVED by the York County Planning Commission this the \_\_\_\_ day of \_\_\_\_\_, 2012 that Application No. UP-804-12 be, and it is hereby, transmitted to the York County Board of Supervisors with a recommendation for approval of a Special Use Permit, pursuant to Section 24.1-306 (Category 6, No. 3) of the York County Zoning Ordinance, authorizing the redevelopment of an existing hotel (George Washington Inn) to establish a Senior Housing, Assisted Living facility of up to 150 units on property located at 500, 512, 516, and 600 Merrimac Trail (Route 143) and further identified as Assessor's Parcel Nos. 10-10A (GPIN F14d-2905-1756), 10-10B (GPIN F14d-2659-1963), 10-10C (GPIN F14d-2683-2168), and 10-21 (GPIN F14d-3073-1611), subject to the following conditions:

1. The development shall be developed and operated as age-restricted senior housing in accordance with the definition of Senior Housing Assisted Living Facility as set forth in Section 24.1-104 of the York County Zoning Ordinance.
2. A site plan, prepared in accordance with the provisions of Article V of the Zoning Ordinance, shall be submitted to and approved by the Department of Environmental and Development Services, Division of Development and Compliance prior to the commencement of any building redevelopment, land clearing, or construction activities on the site. Said site plan shall be in substantial conformance with the plans titled "Conceptual Site Plan and Conceptual Landscape Plan, Meridian Assisted Living Home" prepared by AES Consulting Engineers dated 1-3-12 and revised to 1-30-12 and received by the Planning Division on January 30, 2012, except as modified herein. Floor plans shall be in substantial conformance with plans received by the Planning Division on January 31, 2012. Substantial deviation, as determined by the Zoning Administrator, from the general design and layout as depicted on the referenced plans or amended herein shall require resubmission and approval in accordance with all applicable provisions as established by the York County Zoning Ordinance.
3. Architectural design and building materials of all new or redeveloped buildings shall be consistent with the architecture and materials of the existing hotel structure.
4. The operation, layout and design of the residential development shall be in conformance with the performance standards for senior housing set forth in Section 24.1-411 of the York County Zoning Ordinance, except as modified herein.
5. The maximum number of residential units shall be 150.

6. Freestanding signage for the facility shall be monument-style design with materials and colors that are consistent with the architectural design of the senior housing facility.
7. In accordance with Section 24.1-411(o) of the Zoning Ordinance, existing portions of the structure exceeding height limits specified in Section 24.1-411(d)(1) may be maintained.
8. Parking areas to be redeveloped to serve the facility shall be constructed in accordance with landscaping requirements of Section 24.1-607(d)(4) of the Zoning Ordinance.
9. The sidewalks and shoulder bike lane improvements proposed by the applicant and shown on the plans referenced in Condition No. 2 above shall be consistent with all applicable VDOT requirements and shall be installed prior to issuance of a Certificate of Occupancy for the facility.
10. The landscape buffer along the rear property boundary shown on the landscape plan referenced in Condition #2 above shall be supplemented with six-foot high opaque fencing installed along the entire rear boundary of the site. Fencing colors and materials shall be approved by the Zoning Administrator. Plantings within the landscape areas along the rear boundary of the site (exclusive of the community gardens area) shall meet Zoning Ordinance standards for a Type 35 transitional buffer in accordance with Section 24.1-243(a).
11. As shown on the landscape plan referenced in Condition No. 2 above, the existing eastern entrance to the site shall be eliminated and replaced with a landscape area, including trees and shrubs. The normally required 20-foot front landscape yard shall be provided, to the extent possible given the existing and proposed driveway and parking lot configurations, along the entire Merrimac Trail frontage, either on the subject property or, with the concurrence of VDOT, within the wide expanse of right-of-way adjoining the property.
12. The development shall be served by a stormwater collection and management system, the design of which shall be approved by the County Administrator or his designated agent in accordance with applicable regulations and specifications. Any easements deemed necessary by the County for maintenance of the stormwater system shall be dedicated to the County; however, the County shall bear no responsibility for such maintenance.
13. The location and arrangement of open space and passive/active recreation areas shall be generally as depicted on the plans referenced in Condition No.2 above.
14. A minimum of 200 square feet of common active/passive outdoor recreation area per dwelling unit shall be provided. Said area(s) shall include, at a minimum, the following facilities and amenities:

- Community gardens
  - Walking trails
  - Benches
15. Indoor recreational amenities shall consist of, at a minimum, library, billiards room, computer room, exercise room, arts and crafts room, and large multipurpose room as set forth in the Community Impact Study submitted by the applicant and received by the Planning Division on January 3, 2012 and made a part of this resolution by reference, and as shown on plans referenced in Condition No. 2 above.
16. All site lighting shall be designed with full cutoff fixtures and directed downward to prevent off-site glare onto abutting properties and the road right-of-way. Illumination levels shall not exceed 0.1 foot-candle at any residential property line and 0.5 at all other property lines. All lighting fixtures shall be consistent with the lighting recommended by the Illumination Engineering Society of North America (IESNA). A photometric plan detailing all fixtures and ground illumination levels shall be submitted for approval by the Chief of Development and Compliance at the time of application for site plan approval.
17. In conjunction with the site plan review process, a plat to vacate the internal property lines for the subject parcels shall be submitted to the Division of Development and Compliance for review, approval, and recordation.
18. In conjunction with the site plan submittals for this project, the developer shall submit a detailed description of the proposed features of the project and building design related to protection and safety of the residents, as well as operational procedures to ensure and facilitate the safety of the residents in the event of fire or other emergencies.
19. The building shall be brought into conformance with all applicable requirements of the Virginia Uniform Statewide Building Code prior to occupancy as a senior housing facility. In accordance with the International Fire Code, Section 503, a fire apparatus access road (minimum 20 feet wide), designed to extend to within 150 feet of all portions of existing or future buildings, shall be established prior to occupancy of structures to be used for senior housing facilities.
20. In accordance with Section 24.1-115(b)(6) of the York County Zoning Ordinance, prior to site plan approval or issuance of building permits a certified copy of the resolution authorizing this Special Use Permit shall be recorded at the expense of the applicant in the name of the property owner as grantor in the office of the Clerk of the Circuit Court.

BE IT FURTHER RESOLVED that this Special Use Permit is not severable, and invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.