

AGENDA
Historic Yorktown Design Committee

York Hall
East Room
301 Main Street, Yorktown
October 15, 2025
7:00 PM

1. Call to Order
2. Roll Call
3. New Business
 - a. Discussion of proposed new meeting date: 4th Wednesday of each month
4. Approval of Minutes
 - a. October 16, 2024
5. Applications for Certificates of Appropriateness
 - a. **HYDC-278-25, 114 Ballard Street**
 - b. **HYDC-279-25, 210 Smith Street**
 - c. **HYDC-280-25, 331 Water Street**
6. Old Business
7. Reports / Member Concerns
8. Adjourn

Historic Yorktown Design Committee

Minutes

October 16, 2024
East Room
York Hall
301 Main Street
Yorktown, Virginia

Members Attending: Tom Tragle
Margaret Mack-Yaroch
Carol Tyrer - Alternate Member - Voting

Staff Attending: Jeanne Sgroi, Senior Planner, HYDC Staff Liaison
Earl W. Anderson, AICP, CZA, Chief of Development
Services

Ms. Jeanne Sgroi called the meeting to order at 7:00 PM.

New Business

None

Approval of Minutes

The minutes of the July 20, 2024, meeting were approved.

Applications for Certificates of Appropriateness

Application No. HYDC-260-24; Yorktown Beach Hotel

Ms. Jeanne Sgroi submitted the staff report, which stated that submitted by Yorktown Beach Hotel, seeks approval for a new black metal rooftop railing at 508 Water Street. The railing would be added to ensure the safety of guests using the proposed historical observation deck, which would encompass approximately 18% of the roof. The structure was built in 1965 and is considered a Non-Contributing Building.

This application is a request to review the appropriateness of the railing, because it would be visible from adjacent properties or public rights-of-way. The black metal railing would extend beyond the parapet wall and be visible from that street. The Yorktown Beach Hotel is comprised of three buildings connected by breezeways. The observation deck is proposed to be located on the southeast side of the building located along Water Street. From the vantage point of Water Street, the observation would be located on the left side

of the building. The proposed observation deck is an accessory use to the hotel and only a minor expansion of a deck that was on the hotel previously; therefore, it will not require review with the Yorktown Village Activity district for the use.

While the railing would lack balusters, staff believes the proposed rooftop railing fits the character of the building. The railing echoes the look of the balcony railings, which have thick black top rails. Staff believes the proposal is substantially consistent with the Design Guidelines and will improve the overall aesthetic of the building. Therefore, staff recommends approval of the rooftop railing with the design and specifications/details as submitted by the applicant.

Carol Tyrer asked about the existing deck.

Matt Bowry stated there was a sun deck on the roof in the late 1970s and 1980s that operated for one or two years. He said there is access to the roof, which will have to be configured for ADA compliance.

Tom Tragle confirmed the umbrellas would be located in the back portion of the rooftop deck.

Mr. Bowry said he met with one resident who was concerned that the umbrellas would be visible from the street, so the umbrellas were moved toward the back of the deck.

Mr. Tragle asked if hotel guests would be able to enjoy the deck.

Mr. Bowry said those guests will not have keycard access; however, once it is opened by staff, hotel guests can utilize the deck. He said future goals include selling memberships to Village residents and friends of the County. Due to parking limitations, members could walk down to the deck, have a glass of wine, and walk home. There are 59 parking spaces with 57 guest rooms.

Ms. Tyrer asked how many people the deck can accommodate.

Mr. Bowry said fifty people.

Diane Connell thanked the applicant for addressing the noise level and asked if radios had been addressed as well. She said there are times they cannot sit on their deck because the radios from the pool deck are so loud.

Mr. Bowry said they have had some complaints; however, it wasn't from the pool area but from someone in the grassy area near the beach. He said if they call the front desk, it will be stopped because it is for the enjoyment of all the guests. Mr. Bowry said there would be no radios allowed, and there would always be a staff member on the rooftop deck.

Mr. Tragle asked if there were going to be any boom boxes or bands on the deck. He also asked if there could be someone playing guitar.

Mr. Bowry said no. He said they respond to complaints about the street noise more than anything.

Margaret Mack-Yaroch said she is happy to hear that it's limited, that it will be open to residents in the area. She is extremely pleased that the applicant is keeping the aesthetics the same, because that hotel looks 100% better. With what has been done with the black and white, she said, trying to entertain any other visual options would be a mistake. We have other things that we have looked at in the neighborhood, and for different reasons, those have been accepted. It makes sense to support business owners who are in this area and make sure those businesses don't fail or become vacant. She complimented the applicant on the significant improvements to the hotel and on offering extended services to the hotel guests and possibly the residents within the area.

Mr. Bowry stated that currently, Village residents are using the pool and mentioned that when the rooftop deck is complete, there will be more options. He said that has been the plan since the hotel was bought was to sell memberships to the rooftop which would include the pool.

Ms. Mack-Yaroch asked if there is an age restriction for those allowed on the rooftop.

Mr. Bowry said if mom and dad are coming up for a beer and a glass of wine, I don't think I would say you can't have your five- or six-year-old child with you, but that five- or six-year-old child certainly is not up there unattended by an adult.

Mr. Tragle said that the issue is covered by the building code for the height of the rails.

Ms. Mack-Yaroch asked about the space between the railings because she was concerned about liability.

Mr. Bowry stated that the wall of the deck is solid metal, and there are no spindles, so no one can get through it.

Ms. Mack-Yaroch asked about access to the rooftop deck.

Mr. Bowry said when you get off the elevator, there is a door right there that steps out onto the roof, or you walk up a little breezeway up to the back of the hotel.

Mr. Tragle stated there is no external scenario to access the rooftop deck.

Mr. Bowry invited everyone to look at the design of the hotel.

Ms. Mack-Yaroch asked how access would be restricted.

Mr. Bowry stated he would use large immovable planters to partition the space and prevent people from accessing the remainder of the roof.

Ms. Mack-Yaroch asked what staffing would be in the area.

Mr. Bowry said there is one point of entry, which would be covered by an awning, and one staff person would monitor the rooftop area.

Ms. Mack-Yaroch asked what color the awning would be.

Mr. Bowry said black or white, but black ages better.

Ms. Mack-Yaroch asked if there is a gate that will be locked near the hedge area.

Mr. Bowry said there is no access whatsoever.

Ms. Mack-Yaroch asked if there would be any age restrictions.

Mr. Bowry said that when you go to Yorktown Pub, you can have beers at your table with a small child, but cannot sit at the bar, and I'll have to check specifically about that, because there will be some bar seating.

Ms. Mack-Yaroch asked if he would install bar or table seating. She also asked what the hours of operation would be and if there would be food served on the deck.

Mr. Bowry said he would have to double-check with Virginia ABC, but that he was 99% certain that children cannot sit at the bar with alcohol. He said there would be pre-packaged foods, the same things that are currently served at Madison's market. There isn't a commercial kitchen, so no food can be prepared onsite. He said his vision is perhaps with communication with either the Pub or Coastal Thirst, they may want to have some sort of delivery service to the rooftop. The rooftop lounge would probably be open from sunrise to sunset. He said he would like to stay open later on special nights like the Fourth of July until 10:30 PM and that their quiet hours start at 11:00 PM.

Mr. Tragle asked Ms. Sgroi what the restrictions were for the raised bar at the Yorktown Pub. He said he thought the restriction was 10:00 PM.

Ms. Mack-Yaroch asked what the Yorktown Beach Hotel's policy will be on alcohol. Can guests bring it to their room or outside of the hotel?

Mr. Bowry said his current Virginia ABC license allows on- and off-site alcohol; however, he doesn't sell beer to-go because it could create liability issues for him. He said the license

allows guests to buy alcohol from Madison's Market and take it to their room, which is considered walking off-site, but his license covers the entire area so they could purchase buy a beer in the market and go up to the pool.

Ms. Mack-Yaroch asked if you could buy alcohol and take it off the premises.

Mr. Bowry said his license allows for that, but they don't allow it.

Ms. Connell stated that the letter she received illustrated the fence going around the front of the building.

Ms. Sgroi stated that the picture illustrates the property line boundaries.

Mr. Tragle thanked the applicant for speaking to the neighbors.

Mr. Bowry said that Mrs. Beverly Krams asked him about the umbrellas and requested the wall be taller than 18 inches than planned because she was concerned about people sitting at the edge, and all you would see is their heads from the beach.

By voice vote, the motion was approved unanimously.

Application No. HYDC-261-24; 230 Nelson Street

Ms. Jeanne Sgroi submitted the staff report, which stated that the application, submitted by Chris and Diane Connell, seeks approval to replace seven existing windows located on the front and left side of the house, the siding, and the gutters and downspouts on their house located at 230 Nelson Street. All windows would be single casement, have a black exterior with white trim, and have two muntins forming a "+" divided light pattern. These would replace the existing double-hung, white, non-divided-light windows. The proposed changes would remove one window on the right-side gable by covering it with siding.

The proposed siding would be a white vinyl clapboard-style and would replace the existing white clapboard-style siding. The existing siding is partially white aluminum and partially white vinyl. According to the applicants, the new siding would mimic the size and look of the original wood siding that was on the home one hundred years ago. Additionally, the applicant is requesting to replace the existing white metal fascia-mounted K-style gutters and downspouts with identical ones. According to Section 24.1-377(e)(2) of the York County Code, "gutter replacement that matches the existing" is exempted from review.

In staff's opinion, the proposed divided-light windows would be more characteristic of a contributing building in the historic core than the existing windows. The proposed black color of the windows would change the overall appearance of the home, given that the existing windows are white, but staff believes the color is appropriate and it was selected from the Yorktown Color Palette. The Guidelines require all new construction buildings to have double-hung windows, but for contributing buildings, like the subject house, the Guidelines recommend against casement windows *only* if they are not compatible with and

characteristic of the architectural style of the original structure. Staff believes casement-style windows would be appropriate for the style of the house.

The applicants propose to replace the white aluminum and vinyl siding with white vinyl siding, and the Guidelines allow the Committee to consider synthetic sidings on a case-by-case basis. The Guidelines recommend that design features that characterize contributing buildings be retained and maintained; however, it appears the house has not retained its original building materials over the years. Staff believe the wood-look vinyl siding would be an overall improvement compared to the existing siding.

In staff's opinion, the proposal is substantially consistent with the Design Guidelines and the proposed changes would be visually appealing. Given the considerations and conclusions as noted, staff believes that it merits approval. Accordingly, it is recommended that the Committee find the proposal consistent with the Guidelines and that the application be approved, subject to the following condition:

1. The vinyl siding shall have a wood grain surface or "wood-look".

Ms. Mack-Yaroch asked why the applicant was looking to replace the siding with plastic siding. She said people who live in Chischiak Watch replace their old siding with Hardiplank. She stated that she believed Hardiplank would be a more viable option for the applicants. "It would be better for the owners long-term", she stated. "And certainly, for their insurance costs because Hardiplank is considered to be similar to brick when it comes to insurance." She stated vinyl doesn't represent the area and asked why the existing siding is not being replaced with Hardiplank and why the existing windows aren't being replaced with standard double-hung windows.

Ms. Connell said her husband was diagnosed with ALS and has little strength in his arms, so cranking at this point is easy for both of them. Regarding Hardiplank, she stated they had lived in homes that had Hardiplank in the past and encountered a lot of maintenance issues with that product. She stated that they had researched the effects of salt air, are very respectful of the historic nature of Yorktown, and are seeking a product that would be easy for me to maintain throughout the years, as well as hurricane-proof, dent-proof, or something of that nature.

John Connor stated that the owners tried to keep the siding looking exactly like the current siding, and that is the reason they chose the profile of "Charter Oak". He said it has a wood grain built into it, and it is an insulated product and 100% PVC. It is warranted as long as they own the house, and they are free to transfer the warranty to the next owner. It's also category five hurricane wind rated. It has got a 340 pounds per square inch impact rating to it, so hail, tree branches, things just can't punch holes in it. The siding is going to be white, but it's warranted not to fade. It is a product that we have been installing and carrying since 2000, so we've been putting this product on for 24 years, and it's warranted by the manufacturer, who's been in business since 1947.

Ms. Mack-Yaroch said she has owned two homes within this area, both with wood and with Hardiplank, and is one of the few homeowners who haven't ever had to get flood insurance or hurricane insurance. The committee has tried to prevent bringing in any type of plastic replacement facades. She appreciated the concerns with the window casings and said, as somebody who has also owned those casings, those aren't the easiest to open as well. And said the lift-up option is easier than the crank option, but that's an individual right to people's abilities. She said she can see that the sample siding is plastic.

John Connor said there is aluminum and vinyl siding already on the house where the gable connects to the rest of the house. He said he doesn't know why they did that, but thought that someone wanted to fix the damaged wood, and that's how they fixed it.

Ms. Mack-Yaroch asked if Hardiplank would carry those boards across the house.

Mr. Connor replied no, the previous owners just repaired it there.

Ms. Mack-Yaroch stated that if they were to replace the siding with Hardiplank, the house would be a more natural-looking structure and that the siding would look original to the home with the addition of the improvement of the windows.

Ms. Connell said Hardiplank is not the same size as the current siding.

Ms. Mack-Yaroch said what is currently there doesn't match the neighborhood, and what is proposed doesn't either.

Mr. Connor said Hardiplank is a cement board and questioned why that would have anything to do with flood insurance. He stated that Hardiplank is 16 feet long. It is a cement product. He said when you cut Hardiplank, you should wear a respirator, and when you attach it, you must put flashing behind every joint, you must hand seal every joint, you must paint it, and then it still becomes a maintenance issue.

He said the Connells were trying to keep the appearance that they have right now. It's a phenomenal product that's been developed in place of Hardiplank, which is designed to do the same thing.

Mr. Tragle asked if it is a composite material.

John Connor said it is a composite and insulated material. It is the same seven-inch kind of profile that you would get with the Hardiplank. It does look like real wood when you look next to it, and it is category five hurricane-rated. He stated another feature of their insulation is that it has a boron derivative, which prevents carpenter ants, termites, and bugs from coming into the home. The owners were given this option, but they were trying not to change the appearance of the house, so they went with the original four-inch siding.

Mr. Tragle asked if these products come in a double like what is on the house now.

John Connor said they have a seven-inch profile, and they are 16 feet long.

Mr. Tragle said the Committee should focus on visual appearance and aesthetics. He asked if the committee is concerned that the siding is four or seven and a half inches thick.

Jeanne Sgroi said there is nothing in the guidelines about the size of the plank.

Ms. Mack-Yaroch said it's important that the houses in the area look similar. She said the proposal isn't similar to what we currently have.

Mr. Tragle said that was the point.

Ms. Tyrer asked if vinyl and aluminum replaced what was there before.

Mr. Connor said it is hard to say.

Ms. Connell said it is the original wood, and it has always been small.

Mr. Tragle asked if it matters visually whether it is smaller or larger.

Ms. Connell said the smaller size would be more appropriate.

Ms. Tyrer said that is probably why they chose the smaller size siding because the larger boards were not up to scale.

Ms. Connell said it is a one-story cottage.

Mr. Tragle asked staff if there were any vinyl-sided houses in the historic district.

Mr. Anderson said he didn't know. He said there has not been an assessment of every structure. He agreed that the smaller size works best, however, Hardiplank is only available in the larger size.

Mr. Conner said the old shiplap boards were usually about eight-inch boards, and then they overlapped them by one inch to get the seven-inch profile. He said they did have some smaller products that they could use back then, but it depended on what the mill had available. Sourcing wood has gotten more difficult. The wood today is not as good as the wood that was available 50 years ago because of how they grow it is grown. He stated he sees many homes constructed of wood and built in the 2000s that are rotting now.

Ms. Tyrer asked if the windows are vinyl.

Mr. Conner said the windows are vinyl replacement windows.

Mr. Conner said Paramount only carries one product line and that their windows are 100% pure PVC, category five, hurricane wind rated, double lifetime warranty, and designed to last.

Mr. Tragle opened the meeting to community comments.

Maureen Moss said she lives next door to this lovely couple, and they love what they want to do. They owned the subject house at one time, and so they're very familiar with the siding. The siding has been on there for years, part aluminum, part vinyl, and anything they do is going to enhance it and make it look sweet. They went through the design committee when they renovated their house. They have crank-out windows, and that was perfectly acceptable at that time. How a window opens should be a personal preference. She said they are very close neighbors and support this move.

Herbert Moss said it would be a tremendous enhancement to what it is now.

Mr. Conner said from the street, nobody is going to see a wood grain. It is not visible unless you are walking to the front door.

Ms. Mack-Yaroch said their role on the Committee is to evaluate how well proposals follow the guidelines, and when she looks at the aesthetics of the siding and windows, everything that they're proposing is an improvement, but are they following the guidelines as a committee? As far as the windows are concerned, she said she would agree that they'd be more aesthetically pleasing and in line with the area. She said the siding needs to look like Hardiplank. She said she loved everything that they're proposing, and it's an improvement, but based on her understanding, siding must look like Hardiplank.

Mr. Anderson said that was pointed out in the memo. Every structure is individual, and you must look at the structure to see if they are maintaining most of the existing character. If you put that large, wide Hardiplank on the structure, it's going to look different. I think preserving the four-inch profile is probably something the Committee would want to do. He said there are houses on the street that have siding, and the Committee must decide if it's going to be vinyl or some other product.

Mr. Tragle said in his opinion, it's not going to be the same. The larger board would change the character of that house.

Ms. Tyrer said Williamsburg does not allow Hardiplank or vinyl siding in its historic district.

Mr. Tragle said we have more flexibility than they do.

Maureen Moss said the brown house down the street has aluminum siding.

Mr. Conner said the house on the right looks like vinyl.

Ms. Moss said it is aluminum siding that was painted.

Ms. Mack-Yaroch said the right side of the house has aluminum siding, but the original face that's running in front of the house is probably wood, which a lot of the homes in this area have started to do.

Mr. Tragle said double four-inch is only available in this product, so the Committee must decide which is most important: the look of wood or the size, because we can't have them both.

Ms. Mack-Yaroch moved approval of application HYDC-254-24 involving the replacement of siding and windows at 230 Nelson Street, subject to the following conditions:

1. The siding shall be ASCEND Composite Cladding 7" plank in Glacier White color and Cedar Mill Grain texture.

By voice vote, the motion passed unanimously.

Application No. HYDC-262-24, 120 Ballard Street

This application, submitted by Kennedy Neill, seeks approval to install a white vinyl picket fence on the left side of his front yard located at 120 Ballard Street. The fence would be approximately three feet in height and twenty-four feet in length (3' x 24'), comprised of three eight-foot (8') sections. The pickets are one and a half inches (1 ½") in width and are spaced three and seven-eighths inches (3 ⅞") apart. The applicant plans to install the fence at the front of his property along the sidewalk, on the left side, closest to the Post Office.

Wooden, white-painted picket fencing is characteristic of the Historic Core in Yorktown, given that the National Park Service has installed long stretches of it in front of the historic buildings on Main Street. The Design Guidelines support a wooden, white-painted picket fence but allow the HYDC to review cases on an individual basis. The proposed fence is similar in color and style (white picket) but dissimilar in material (vinyl), size and spacing. The vinyl has a smooth finish, and the pickets are narrower and/or more distantly spaced than many other white picket fences in the Historic Core. In staff's opinion, the proposal is not consistent with the Design Guidelines. Accordingly, it is recommended that the Committee deny the proposal as inconsistent with the Guidelines. If the HYDC wishes to approve the application, staff has recommended that the approved be subject to the following conditions:

1. The fence posts and caps shall match the vinyl pickets in color.
2. The post caps shall not have internal illumination

Charlotte Neill said they love their home, take good care of it, and will not do anything to hurt the County. She said they picked vinyl because they are in their 80s and there is less care involved, and she is concerned about people getting splinters if they touch the fence.

Mr. Tragle said people shouldn't be touching the fence.

Mr. Neill said people shake it to see how sturdy it is.

Mr. Tragle asked if the reason they chose the vinyl fence was for maintenance purposes.

Mr. Neill said the wood fence would need maintenance over time.

Mrs. Neill said the vinyl fence looks as good as wood.

Mr. Neill said three panels span 25 feet, including the posts.

Mr. Tragle said there are no other vinyl fences in the entire Village except a six-foot piece by the Post Office that got installed without a permit.

Mr. Neill said that on Main Street and Ballard Street, there is a split rail fence down to the Administration building. He said he thinks split rail fences are ugly.

Mr. Tragle said the entire village has strict guidelines and uses wood fences that have been stained. He said he is concerned about the prominence of the house on Main Street. He said the textures are more defined, and it would be obvious that the fence was vinyl compared to the rest of the historic district.

Mr. Neill said that when he read the guidelines, it listed several materials, including composite materials.

Ms. Mack-Yaroch said a composite material is a pressurized wood product, but it is not plastic.

Mr. Tragle asked what the fences in the backyard and side yard were made of.

Mr. Neill said those fences are made of wood.

Ms. Mack-Yaroch said the applicant's house is amazing and immaculate. She said there is something to be said about uniformity. She said the wood fencing would be more aesthetically pleasing and that vinyl takes on green mold.

Mr. Neill said vinyl is a lot easier to clean and that part of the fence is exposed to the sun.

Ms. Mack-Yaroch said everything that has been done on the property is outstanding, but a wood fence would look better.

Mr. Neill asked how far away the fence must be from the sidewalk.

Mr. Tragle said the County will help with the easement. He said a wooden fence would be more compatible with the area.

Mr. Neill said he was disappointed but is appeased.

Mr. Tragle moved to deny application HYDC-262-24 involving the installation of a vinyl picket fence at 120 Ballard Street.

By voice vote, the motion passed unanimously.

Mr. Tragle thanked the committee for their thoughts, feelings, and ideas.

Old Business

Mr. Tragle asked when the tent at the Yorktown Pub was coming down. He said County Administration told him it would happen right after Labor Day 2024. It has been another year and another season with the tent. He stated he heard that concerns with VDOT were preventing the outdoor seating deck planned for the Yorktown Pub and Coastal Thirst from coming to fruition.

Ms. Tyrer said it was Dominion Power they were having problems with, and the Waterman's Museum agreed to allow people to park and transport people to the Yorktown Pub via golf cart.

Ms. Sgroi said that to fit the required parking and landscape provisions, the property owner needed to encroach into the public right-of-way and will need to maintain the area of encroachment along with the portions of his own property. She said VDOT manages the public rights-of-way in the rest of the County but does not maintain encroachments of this kind. The County is entering into an agreement with VDOT to take over maintenance of the improvements within the right of way. In turn, the property owner will enter into an agreement with the County to maintain the improvements VDOT is installing in the right-of-way. The agreement between the County and VDOT has been drawn up and agreed

upon. She said VDOT still must sign the agreement, which could occur in the next week or two.

There being no further business to come before the Committee, the meeting was adjourned at 8:45 pm.

Respectfully Submitted,

Jeanne Sgroi, Secretary

Approved by HYDC: _____

COUNTY OF YORK

MEMORANDUM

DATE: August 26, 2025 (HYDC Mtg. 10/15/25)

TO: Historic Yorktown Design Committee

FROM: Jeanne Sgroi, Senior Planner

SUBJECT: Application No. HYDC-278-25, Jeffrey Vance, 114 Ballard Street: Request for review of new front yard fence

Issue

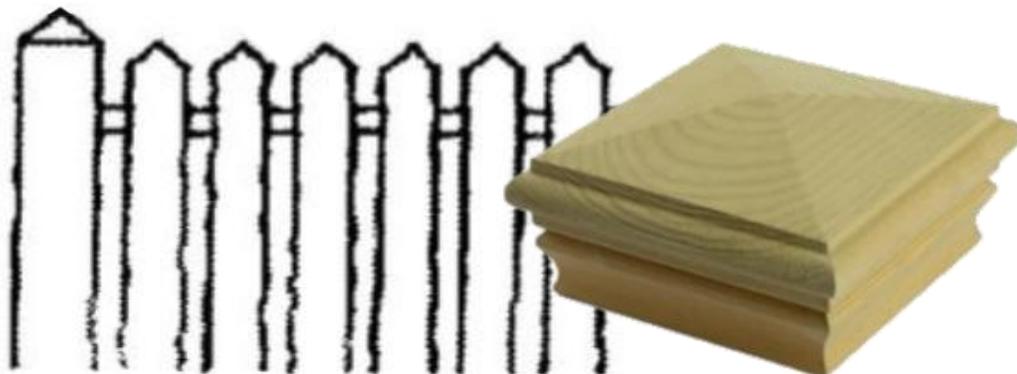
This application, submitted by Jeffrey Vance, seeks approval to install a new front yard white picket fence at his home at 114 Ballard Street. The applicant proposes to install the fence just above the retaining wall that runs along the front of his property. It would have a pedestrian gate over the existing stairs in the retaining wall and would run behind the Nicolas Martiau monument on the applicant's property, to preserve public access to it.



The fence would end at the southwestern property line that abuts 120 Ballard Street. On the northeastern end of the property, the fence would turn ninety degrees (90°) and run partially up the driveway.



The fence is proposed to have a picket style, be made of wood, and painted white. The pickets would be three and one-half inches (3.5”) in width and forty inches (40”) or three feet and four inches (3’ 4”) in height. The pickets would have a “slight pyramid point” and would be spaced two and one-half inches (2.5”) from each other. The post caps would be a flat pyramidal style that matches those on the fence located in the backyard of the subject property.



The pickets on the pedestrian gate would have a concave design across the top, while the pickets on the fence would be of equal height.



An application, narrative description, sketch plan, and photographic examples provided by the applicant are attached.

Pertinent Design Guidelines

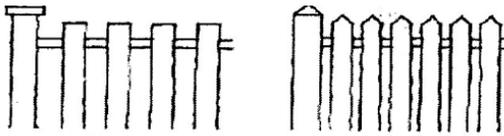
The subject property is located in the Historic Core, as defined by the Yorktown Historic District and Design Guidelines. According to County property records, the existing structure was constructed in 1930 and is therefore a contributing building (constructed between 1866 and 1945). Standards for fences can be found in Sections I.B. (pages 28-30), I.E. (pages 38-53), and Appendix 2 (page 79) of the Design Guidelines. The fence should be evaluated in accordance with these provisions. A summary listing of the relevant standards, along with staff comments regarding compliance, follows:

Standard	Comments
I. <u>The Historic Core</u>	
A. Purpose	
The design guidelines for the Yorktown Historic Core are intended to: 1. protect the character and integrity of Yorktown; 2. preserve the character of contributing buildings, landscapes, and the Historic District as a whole;	

<p>3. guide new construction that is compatible with the character of the Historic Core;</p> <p>5. promote an overall design expression that is consistent with Yorktown’s historic character.</p>	
B. Site Planning and Landscape Alterations	
<p>1. Views</p> <p>New construction and alteration of existing construction should be undertaken with appropriate recognition of its impact on views toward significant features and resources, as well as impacts on views from those resources and other vantage points. However, although such considerations are important, they should not be deemed so controlling as to limit the construction rights accorded by the basic development standards established for Yorktown.</p>	<p>The fence would be visible from Ballard Street, the adjacent properties at 120 Ballard Street, and 115 Chischiak Watch. Staff believe the proposed fence would have a positive impact on views, because it would match the character of the Yorktown village and would be similar to the white picket fence facing Ballard Street at 115 Chischiak Watch.</p>
<p>5. Walls and Fences</p> <p>a. Existing boundary walls, fences and hedges that contribute to the character of the Historic District should be retained and maintained.</p> <p>b. Wooden picket fences are an appropriate type of fencing to use when defining property lines and public rights-of-way.</p>	<p>The subject property has a retaining wall along the frontage that will be retained and maintained. The new fence will be in addition to, and will not replace, the retaining wall.</p> <p>The proposed fence would be a wooden picket fence that would be used to define the boundary between the public right-of-way along Ballard Street and the rest of the subject property.</p>
E. New Construction	
1. Residential Construction	

<p>c. Architectural Elements</p> <p>(11) Color</p> <p>(b) In general, fences should be painted white; however, fence finishes and colors will be evaluated on a case-by case basis to ensure compatibility with the type of fence and the setting in which located [sic].</p>	<p>The fence is proposed to be painted white.</p>
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APPENDIX 2: ILLUSTRATIONS AND DIAGRAMS

<p>2. Fences</p> <p>Fences should be simple in overall design, painted white, between 36”- 48” in height, and have appropriately sized and spaced pickets with a simple, geometric profile. Pedestrian entry gates should be of the same material, color, and general design as the fence.</p> 	<p>The fence is proposed to be simple in overall design, painted white, and 40” in height. The pickets are proposed to be 3.5” in width with 2.5” spacing. A gothic-style picket is proposed. The pedestrian entry gate would be of the same material and color, but with a concave design across the top of the pickets. The fence would have a straight top.</p>
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Recommendation

In staff’s opinion, the proposal would enhance views by adding a white picket fence, which is characteristic of the neighborhood. The existing retaining wall on the subject property would be unaffected by this proposal. The fence is proposed to define the boundary between the subject property and the public right-of-way. It would be painted white, per Section I.E.1.c.(11)(b) of the Guidelines. The proposed height of 40” is within the Guidelines recommendation that fences be 36” to 48” in height. The pedestrian gate would be of the same material and color as the fence. It will be up to the Committee to decide whether it is simple in overall design, with appropriately sized and spaced pickets that have a simple, geometric profile, and whether the concave design across the top of the pickets on the pedestrian entry gate is of the same general design as the fence. Staff believes the

Historic Yorktown Design Committee

July 8, 2025

Page 6

proposed fence is in substantial conformance with the Guidelines criteria. Accordingly, it is recommended that the Committee approve the proposal with the following conditions:

1. Except as set forth herein, the fence shall be constructed in accordance with the sketch plan and narrative description provided by the applicant and received by the York County Planning Division on August 25, 2025, copies of which shall remain on file in the office of the Planning Division.
2. The fence shall be painted white on or before August 25, 2026.

Sgroi/6689

Copy to: Jeffrey Vance

Attachments

- Application
- Vicinity Map
- Photographs of the fence

APPLICANT: Jeffrey Vance

114 Ballard Street

Request for review of new front yard fence

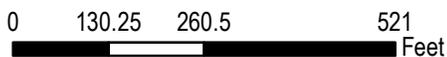
VICINITY MAP

APPLICATION NUMBER: HYDC-278-25



**Property of
Holly Szumila-Vance
& Jeffrey Vance**

★ = Conditional Zoning



Printed on August 26, 2025.



SOURCE: YORK COUNTY
GIS PARCEL DATA and
ZONING DATA

THIS IS NOT A LEGAL PLAT.
This map should be used for
information purposes only. It is
not suitable for detailed site planning.



HYDC #: 278-25
 Date Filed: 8/18/25

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

I/We _____ request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: _____

NOTE: If the property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

GPIN: _____

Proposed Action(s):

	New Building	Repainting with existing color scheme
	Addition	Repainting with different color scheme
	Relocation	New roof – same color and materials
	Demolition	New roof – different color or materials
	Deck / Porch / Trellis	New / replacement windows
	Garage / Storage Shed	Signs (new or replacement)
	Walls / Fences	
	Other (please describe) _____ _____	

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: _____

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

1. Pickets will have a pointed top. Width will be 3.5 inches and height will be ~40 inches. Spacing between pickets will be 2.5". Same fence as 116 Church.
2. Post caps will have a very slight pyramid point. They will be the same caps that were used on our back fence.
3. Only the walkway will have a concave design. The rest of the fence will be a straight top.
4. Around the stone monument, we plan to angle the fence, to provide a wider viewing area for the public viewers.



Chischiak Watc

Ballard St

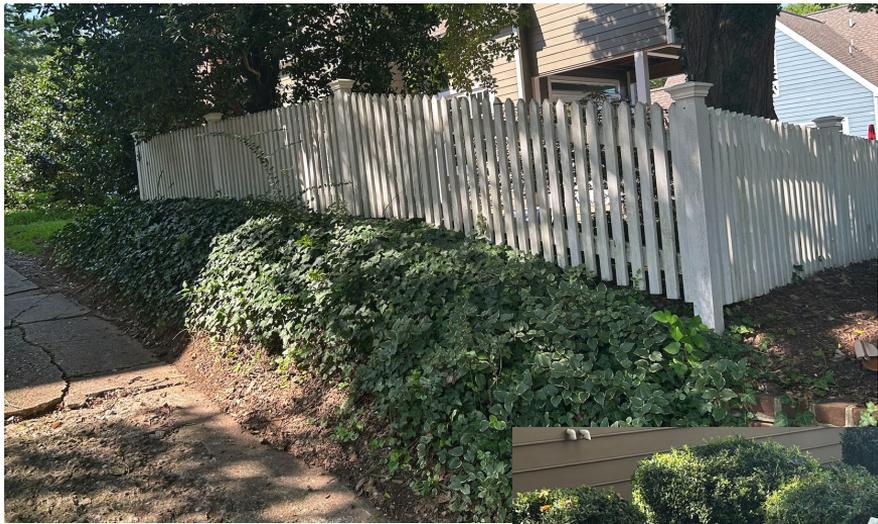
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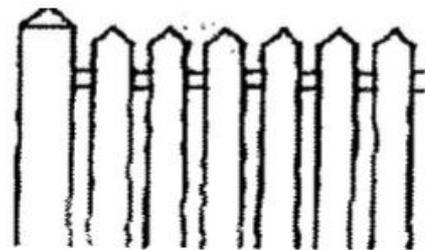
7rd St











COUNTY OF YORK

MEMORANDUM

DATE: September 10, 2025 (HYDC Mtg. 10/15/25)

TO: Historic Yorktown Design Committee

FROM: Jeanne Sgroi, Senior Planner

SUBJECT: Application No. HYDC-279-25, Michael Lulofs, 210 Smith Street: Request for review of new backyard shed

Issue

This application, submitted by Michael Lulofs, seeks approval for the design of a new backyard storage shed at his home at 210 Smith Street. The proposed shed would be located directly behind the existing detached garage on the subject property. Because the shed would be smaller than the garage, the proposed shed would not be visible from Smith Street. The shed is proposed to be eight by twelve feet (8' x 12') in size. The existing detached garage, which the shed would be located behind, is twenty feet (20') wide.

The pitch of the roof is proposed to be 5:12 and clad with GAF Timberline HDZ architectural shingles in the color slate. The total height of the shed would be ten feet (10'). The walls would be seven feet and six inches (7'6") in height and constructed of LP SmartSide exterior wood siding, which is engineered wood. Engineered wood is a composite material made from layers of wood veneers and composite wood fibers bonded together. The walls would be painted with the color Downing Stone (Sherwin Williams - SW2821), which, the applicant stated, "most closely matches the current color of the garage and house". The applicant proposes to paint the trim white to match the trim on the house and the garage.

The shed will sit on a foundation constructed of four-by-four-inch (4' x 4') wooden slats placed on the ground. Finally, it's proposed to have double doors that would measure six feet wide by six feet and eight inches tall (6' x 6'8"). The doors would be constructed of the same material and painted the same color as the walls of the shed. An application, narrative description, elevations, and a sketch plan provided by the applicant are attached.

Pertinent Design Guidelines

The subject property is located in the Historic Core, as defined by the Yorktown Historic District and Design Guidelines. According to County property records, the existing structure was constructed in 2021 and is therefore a non-contributing building (constructed in 1946 or later). The Design Guidelines define a dependency as "a subsidiary building near or adjoining a principal structure." Outbuildings are defined as "a building subsidiary to, but separate from a main house or building." Utility sheds fall under both of these definitions. Standards for residential dependencies and outbuildings associated with non-contributing properties and new construction can be found in Sections I.B.1 (page 28), I.C.2. (pages 37-38), and I.E.1. (pages 38-45) of the Design Guidelines. The proposed shed should be evaluated in accordance with these provisions. A summary listing of the relevant standards, along with staff comments regarding compliance, follows:

Standard	Comments
<p>I. <u>The Historic Core</u></p> <p>A. Purpose</p>	
<p>The design guidelines for the Yorktown Historic Core are intended to:</p> <ol style="list-style-type: none"> 1. protect the character and integrity of Yorktown; 2. preserve the character of contributing buildings, landscapes, and the Historic District as a whole; 3. guide new construction that is compatible with the character of the Historic Core; 5. promote an overall design expression that is consistent with Yorktown’s historic character. 	
<p>B. Site Planning and Landscape Alterations</p>	
<p>1. Views</p> <p>New construction and alteration of existing construction should be undertaken with appropriate recognition of its impact on views toward significant features and resources, as well as impacts on views from those resources and other vantage points. However, although such considerations are important, they should not be deemed so controlling as to limit the construction rights accorded by the basic development standards established for Yorktown.</p>	<p>The shed would not be visible from Smith Street, because the shed, which would be 8’ x 12’, is proposed to be erected directly behind the existing detached garage, which is 20’ wide. The shed would be somewhat visible from Nelson Street (the street parallel to Smith Street, located behind the subject house), the backyards of 213, 215, 217, and 221 Smith Street, and 208 and 212 Smith Street.</p>
<p>C. Architectural Additions and Alterations</p>	
<p>2. Non-Contributing Properties (1946 or later construction)</p>	

<p>b. Size and Scale</p> <p>New additions and outbuildings should not equal or exceed the ground floor footprint of the principal building on the lot.</p>	<p>The shed would be 96 sq. ft. in size, while the one-story principal building is 1,381 sq. ft. The proposed outbuilding would not exceed the ground floor footprint of the building.</p>
<p>E. New Construction</p>	
<p>1. Residential Construction</p>	
<p>b. Planning for New Construction</p> <p>(3) Size and Scale</p> <p>(d) The footprint of dependencies should not exceed 25% of the footprint of the principal block of the primary structure on the lot.</p> <p>(e) Dependencies should not exceed the height of the primary structure or one and one-half stories, whichever is less.</p> <p>(4) Form and Massing</p> <p>(a) Building designs should be a single rectangular box-like form or a similar principal form with subordinate rectangular wings.</p> <p>(b) The need for increased</p>	<p>The footprint of the principal block of the primary structure is 1,381 sq. ft. Twenty-five percent of 1,381 is 345.25 sq. ft. The proposed shed would be 96 sq. ft. The footprint of the shed would not exceed 25% of the footprint of the principal block of the primary structure on the lot.</p> <p>The height of the home (the primary structure) is twenty-five feet (25'), while the shed (a dependency) is proposed to be ten feet (10') tall. A residential story is generally eleven feet and seven inches (11'7") tall, not accounting for the crawl space, attic, or varying floor thicknesses. One and one-half stories could be about seventeen feet and four and a half inches tall (17'4.5") with wide variation. Nevertheless, the height of the proposed dependency would not exceed the height of the primary structure or one and one-half stories.</p> <p>The shed would be a single rectangular box-like form</p> <p>The need for increased square footage is</p>

<p>square footage should be accommodated through the use of one or more smaller attached wings or detached dependencies rather than creating a massive or monolithic appearance within the principal block.</p> <p>(5) Roof Form</p> <p>(b) Roof pitch should be in the range of 9:12 to 12:12.</p>	<p>proposed to be accommodated through the use of a detached dependency.</p> <p>The pitch of the shed's roof would be 5:12. A condition of approval has been proposed that would require the roof pitch to be in the range of 9:12 to 12:12.</p>
<p>c. Architectural Elements</p> <p>(1) Foundation Materials</p> <p>Brick-faced foundations should be used for all buildings.</p> <p>(2) Wall Materials</p> <p>(a) Brick or wood clapboard siding wall materials should be used for primary residential structures. Clapboard siding should be used for outbuildings.</p> <p>(c) Wood clapboard siding (horizontal orientation) that is suitable for painting is the preferred siding material. Composite wood products and other wood substitute or synthetic sidings may be considered if they are indistinguishable in outward appearance and</p>	<p>The foundation is proposed to be constructed of 4' x 4' wooden beams. No brick-facing is proposed. A condition of approval has been included that would require the shed to have a brick-faced foundation.</p> <p>Vertical siding is proposed. A condition of approval has been included that would require the shed to be clad with clapboard siding.</p> <p>Painted LP SmartSide exterior wood siding in a vertical orientation is proposed. LP SmartSide exterior wood siding is an engineered wood product. Engineered wood is a composite material made from layers of wood veneers and composite wood fibers bonded together.</p>

<p>compatibility from an otherwise approvable standard wood product.</p> <p>(3) Roof Materials</p> <p>(a) Wood or asphalt/fiberglass shingles are the preferred materials. Slate or composite roofing materials may be considered on a case-by-case basis.</p> <p>(b) Roofing materials should be compatible with the exterior color of the building.</p> <p>(4) Doors</p> <p>(a) Only one entry door should be provided on the front façade of the principal block or any outbuilding. The entry door should be a single, wooden, raised panel door with or without lights and should be painted.</p> <p>(b) Steel or composite doors may be used provided they have the appearance of a wooden, raised panel door.</p> <p>(c) All attached hardware should be simple in design and appropriate to the character of the building and the district.</p> <p>(5) Windows</p> <p>(a) Double-hung sash windows with a vertical proportion should be the predominant window</p>	<p>GAF Timberline HDZ architectural shingles are proposed, which are an asphalt shingle.</p> <p>The shingles are proposed to be slate color while the building is proposed to be painted in Downing Stone (Sherwin Williams – SW 2821). Staff believes the colors are compatible.</p> <p>The shed would have a double door provided on a side façade. The entry doors would be constructed of LP SmartSide exterior wood siding. It is not proposed to be a raised panel door. It is proposed to have transom windows and be painted.</p> <p>The doors would be a composite material but would not have the appearance of a raised panel door. Staff is unaware of whether the material has a woodgrain finish or not.</p> <p>Hardware for the shed is proposed to be black. Staff believes it is simple in design and appropriate to the character of the building and the district.</p> <p>One vertically proportioned window is proposed. Staff is unaware of whether the window would be a double-hung sash style.</p>
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<p>type for any primary residential structure and outbuilding.</p> <p>(d) Window sash may have multiple panes created by fixed or snap-in muntins. Wood or wood-like composite material windows with vinyl or metal cladding may be used. The use of energy efficient windows is encouraged to eliminate the need for exterior storm windows. Windowless side or rear elevations that are visible from public rights of-way should be avoided.</p> <p>(11) Color</p> <p>(a) Paint colors for all exterior wood surfaces (excluding fences) associated with new construction should be comprised of a color or colors from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Other colors may be proposed and will be considered on a case-by-case basis.</p> <p>(13) Outbuildings and Dependencies</p> <p>Not more than three (3) outbuildings or dependencies should be constructed on a lot containing a primary residential structure. Their design and construction must comply with applicable zoning requirements and applicable guidelines for residential structures.</p>	<p>The window is proposed to have divided light. The proposed window material is unknown. Staff does not know whether the windowless elevation would face Nelson Street, but homes and landscaping mostly obscure the view from that street.</p> <p>The shed is proposed to be painted in Sherwin William's Downing Stone (SW 2821) and the trim is proposed to be painted white. Both colors are from the Yorktown Color Palette.</p> <p>If the shed is built, the property would have two (2) outbuildings.</p>
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Recommendation

Staff believes the proposed shed would not have a substantial impact on views because it would be located directly behind the detached garage. It would only be visible from the backyards of adjacent homes and partially visible from Nelson Street. According to Section I.E.1.c.(13) (pages 44-45), outbuildings and dependencies must comply with applicable guidelines for residential structures; however, some of the standards for residential structures do not align with utility sheds. For example, Section I.E.1.c.(4) (page 41) stipulates that only one wooden entry door with raised panels should be used. Utility sheds often need double doors to accommodate riding lawn mowers and other large or bulky items. Furthermore, solid wood raised panel doors are seldom used as utility shed doors given their cost. The Committee may need to exercise flexibility while formulating its determination. Staff believes that the proposed conditions of approval below would bring the proposed shed into substantial conformance with the Design Guidelines. Accordingly, it is recommended that the Committee approve the proposal with the following conditions:

1. Except as set forth herein, the shed shall be constructed in accordance with the sketch plan and narrative description provided by the applicant and received by the York County Planning Division on August 20, 2025, copies of which shall remain on file in the office of the Planning Division.
2. The pitch of the utility shed's roof shall be in the range of 9:12 to 12:12.
3. The foundation of the utility shed shall be brick-faced.
4. The utility shed's siding shall be clapboard (horizontally oriented). If composite siding is used, it shall have a wood-grain finish.
5. Except for the transom window, double-hung sash windows shall be used. Wood or wood-like composite material windows with vinyl or metal cladding shall be used.

Carner/6689

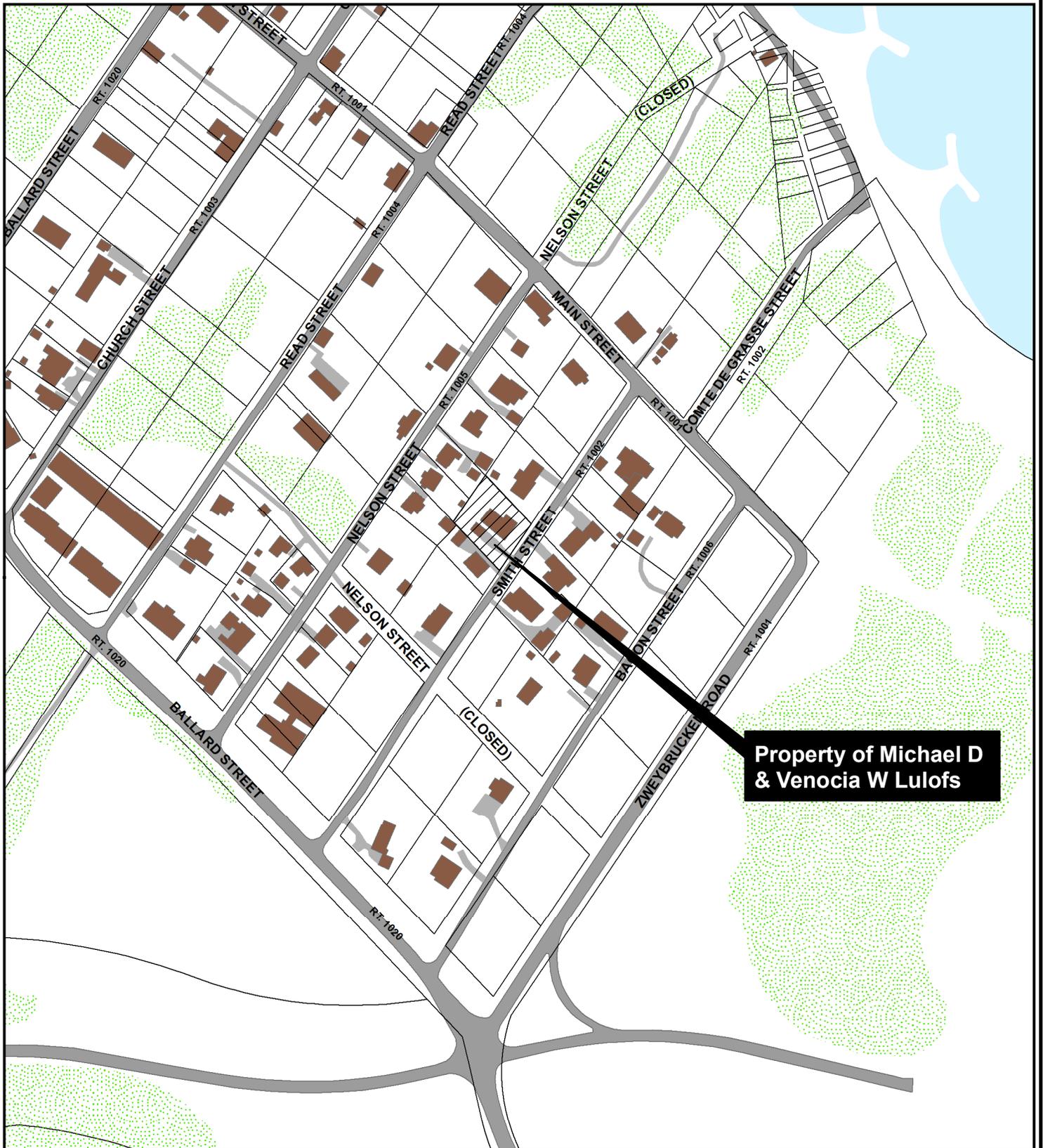
Copy to: Michael Lulofs

Attachments

- Application
- Narrative
- Elevations
- Sketch Plan

APPLICANT: Michael Lulofs
210 Smith Street
Request for review of new backyard storage shed

VICINITY MAP
APPLICATION NUMBER: HYDC-279-25



★ = Conditional Zoning



Printed on August 26, 2025.



SOURCE: YORK COUNTY
GIS PARCEL DATA and
ZONING DATA

THIS IS NOT A LEGAL PLAT.
This map should be used for
information purposes only. It is
not suitable for detailed site planning.



HYDC #: 279-25
 Date Filed: 8/20/25

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

I/We Michael Lulofs request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: 210 Smith Street

NOTE: If the property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

GPIN: P11b-3020-4490

Proposed Action(s):

<input type="checkbox"/>	New Building	<input type="checkbox"/>	Repainting with existing color scheme
<input type="checkbox"/>	Addition	<input type="checkbox"/>	Repainting with different color scheme
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	New roof – same color and materials
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	New roof – different color or materials
<input type="checkbox"/>	Deck / Porch / Trellis	<input type="checkbox"/>	New / replacement windows
<input checked="" type="checkbox"/>	Garage / Storage Shed	<input type="checkbox"/>	Signs (new or replacement)
<input type="checkbox"/>	Walls / Fences	<input type="checkbox"/>	
<input type="checkbox"/>	Other (please describe) _____ _____		

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: Add 8' x 12' storage shed to be located behind existing detached garage. (See attachments for additional details)

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

Historic Yorktown Design Committee

Addendum to Application for Architectural Review

Michael Lulofs – 210 Smith Street

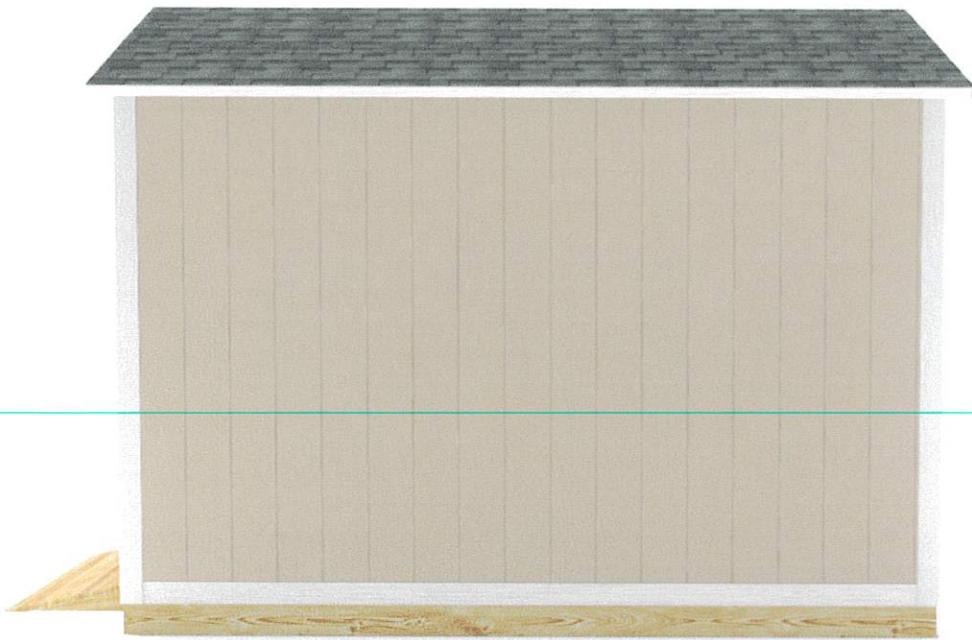
The proposed shed is to be located behind the existing detached garage, which is 20' wide. The shed, which is 8' x 12' will not be visible from the road. Below are details regarding the shed construction and building materials. Attached you will also find elevation illustrations of all 4 walls of the shed. Also attached is a snap shot of the Parcel Boundary Plat plan for my neighborhood. Highlighted on lot 62 (210 Smith St.) is the proposed placement of the shed.

Roof: Pitch will be 5/12 and will be covered with GAF Timberline HDZ architectural shingles in slate color.

Walls: Height will be 7'6" and constructed of LP SmartSide exterior wood siding. The siding will be primed. These will be painted by the homeowner with the color Downing Stone (Sherwin Williams – SW 2821) which is from the approved Yorktown Color Palette and most closely matches the current color of the garage and house. Trim will be white as on the garage and house.

Foundation: The shed will rest on 4' x 4' wooden slats placed on the ground.

Double Doors: Will be constructed (6' wide x 6'8" tall) with the same material as the walls and painted the same color as the walls.



BACK



(OVER)

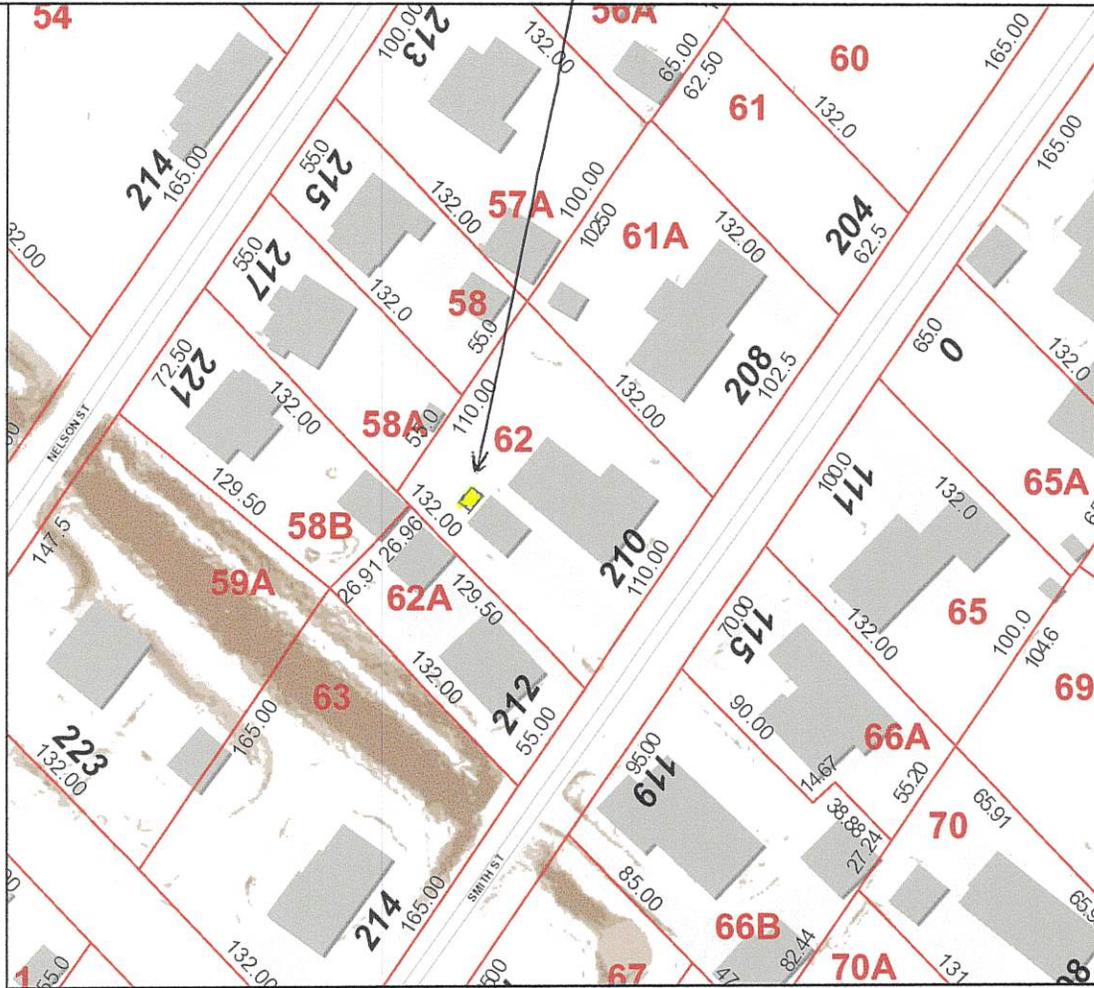
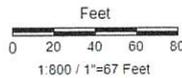


(OVER)

York County, Virginia

Legend

- Parcel Boundary
- Plat Link



Title:

Date: 7/31/2025

DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and York County is not responsible for its accuracy or how current it may be.

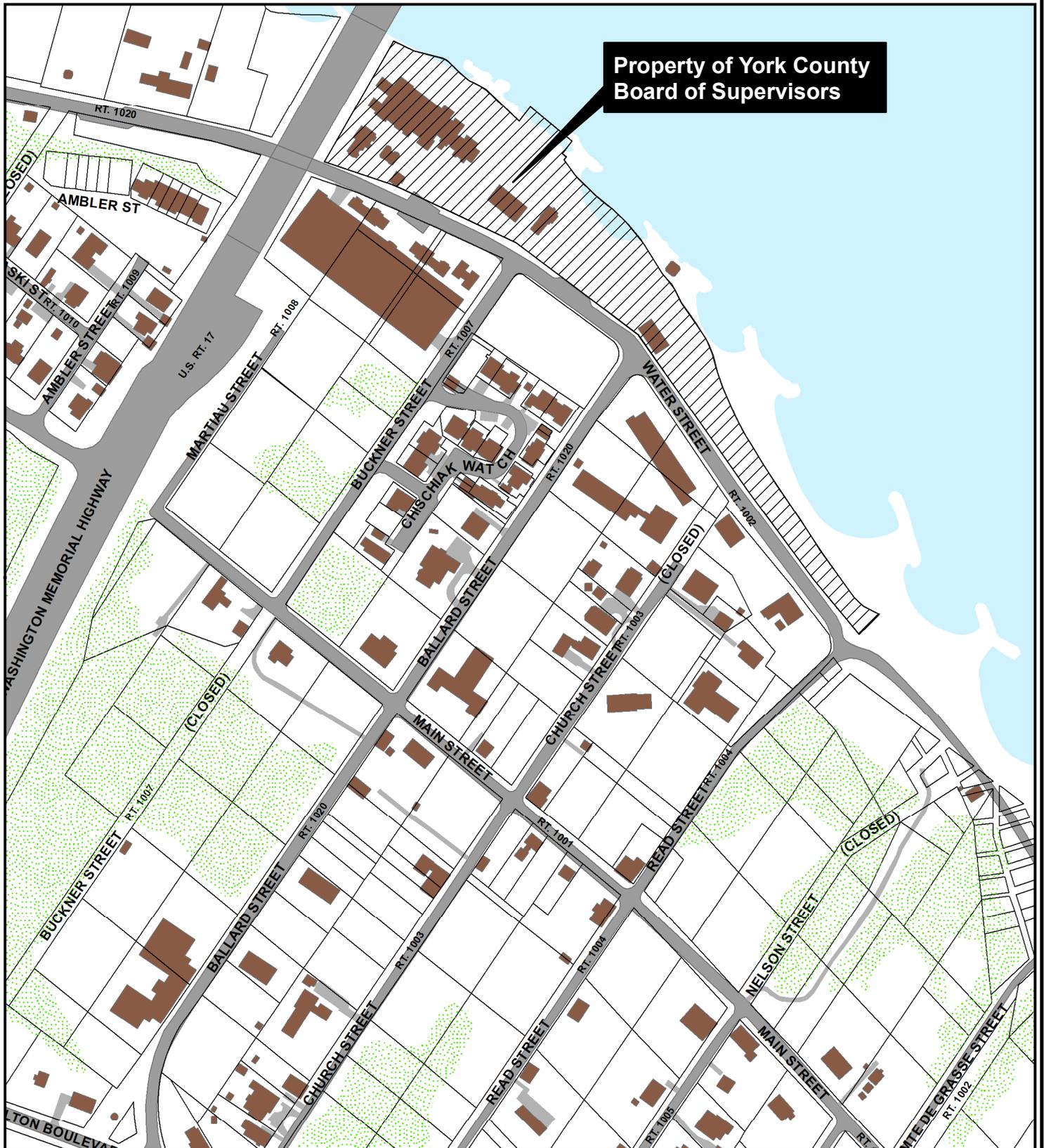
APPLICANT: York County Dept. of Public Works

331 Water Street

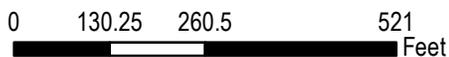
Request for review of a new Freight Shed pavilion

VICINITY MAP

APPLICATION NUMBER: HYDC-280-25



★ = Conditional Zoning



Printed on September 26, 2025.



SOURCE: YORK COUNTY
GIS PARCEL DATA and
ZONING DATA

THIS IS NOT A LEGAL PLAT.
This map should be used for
information purposes only. It is
not suitable for detailed site planning.

COUNTY OF YORK

MEMORANDUM

DATE: October 10, 2025 (HYDC Mtg. 10/15/25)

TO: Historic Yorktown Design Committee

FROM: Jeanne Carner, Senior Planner

SUBJECT: Application No. HYDC-280-25, County of York, replace existing tent behind the Freight Shed with permanent pavilion, 331 Water Street

Issue

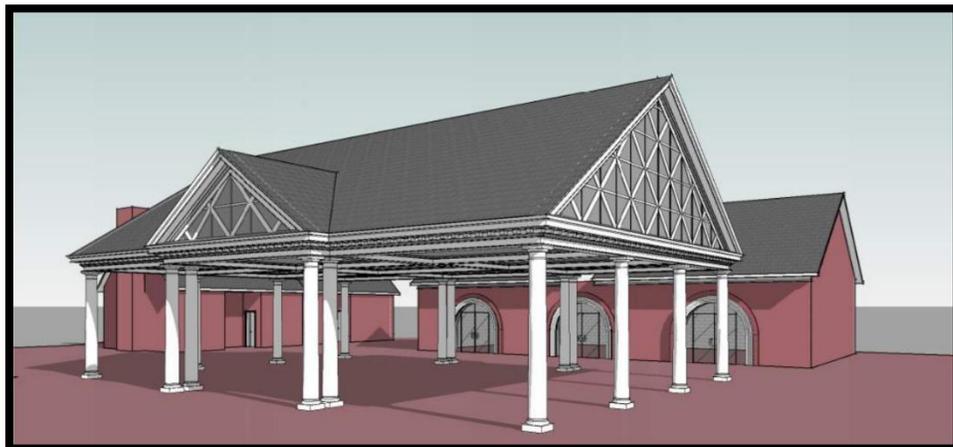
This application, submitted by York County, seeks approval for the construction of a new pavilion to replace the existing tent located behind it at 331 Water Street. The County submitted four design options for the Committee to review. The pavilion would be sixty feet (60') in length. The width and height of the pavilion vary between options, but none exceed forty-five feet (45') in width and twenty-eight feet (28') in height. The ceilings are proposed to have scissor trusses or a coffered ceiling, depending on the option, which would be constructed of treated wood or steel. The following design features are proposed for all options:

- The roof would be clad with DaVinci brand synthetic slate tiles that match the color of the roof tiles on the Freight Shed.
- The columns would be fully wrapped with white decorative polyvinyl chloride (PVC).
- The pavilion would have automatic roll-down screens installed between each column. The screens would be mounted directly to the underside of the cross beams and would be primarily black in color. One screen would have a large opening for a clear vinyl window.
- The pavilion would have copper flashing around the drip edge of the roof.
- The pavilion would not have any roof vents, gutters, or downspouts.
- All Hardieplank would have a beveled edge.
- The trim would be three-quarters of an inch ($\frac{3}{4}$ ") thick, constructed of PVC, and painted white to match the Freight Shed. The trim would be one-and-a-half inches ($1\frac{1}{2}$ ") wider than the size of the posts, except for the posts that would have electrical conduit running through them—those would be slightly larger, according to the applicant's narrative.
- All decorative trim around the roof line (fascia and soffits) is proposed to be constructed of wood and painted white.

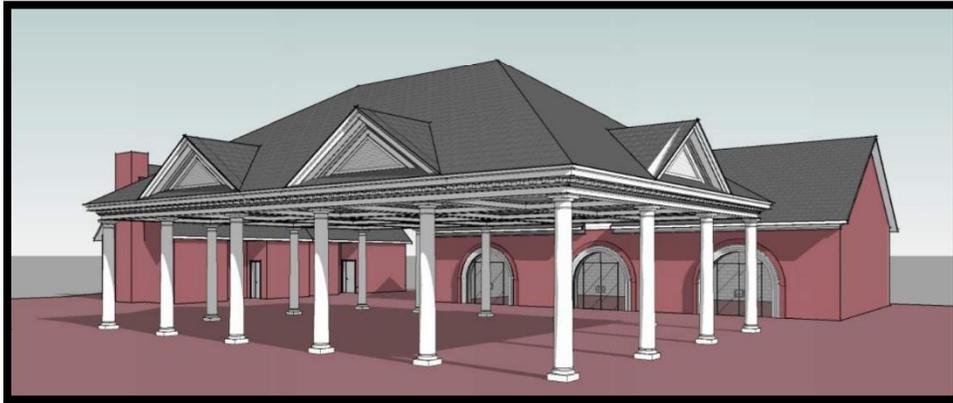
Option A features a hipped roof with small cross gable roofs that project from each of the four (4) sides of the hipped roof. The gable ends of the smaller roofs feature decorative lattice truss detailing in the tympanum (the triangular space within the gable), which is outlined by cornice trim. Behind the lattice truss detailing in the tympanum would be grey Hardieplank. All the trim and lattice work would be white. The main roof would have a slope of 8:12 and the smaller gabled roofs would have a slope of 12:12. The rendering of Option A, provided by the applicant, appears to show twenty-four (24) columns.



Option B features a gable-style roof with smaller cross-gable roofs. The gable ends of the main roof, as well as the smaller cross-gable roofs, would feature decorative lattice truss detailing in the tympanum, outlined by cornice trim, similar to Option A. The lattice detailing would also have a grey Hardieplank background. All trim and lattice work would be white, and all roofs would have an 8:12 slope. Option B would have a total of sixteen (16) columns.



Option C features a hipped roof with six (6) small cross-gable roofs that project from each side of the four (4) sides of the hipped roof. The front and rear elevations are both proposed to have two (2) small cross-gable roofs projecting from each side, respectively, while the side elevations would have one (1) on each elevation. The gable ends of the smaller roofs would feature white Hardieplank clapboarding in the tympanum, outlined with white cornice trim. All the roofs would have a slope of 8:12 and the pavilion would have sixteen (16) columns.



Option D features a gable-style roof with cross-gables. The gable ends of the main roof, as well as the cross-gable roofs, would feature white Hardieplank clapboarding in the tympanum, outlined with white cornice trim. Each gable end also features a half-round window with radiating muntins in the center of the tympanum. All the roofs would have a slope of 8:12 and the pavilion would have sixteen (16) columns.



Copies of the architectural drawings of the proposed structure and other supporting material provided by the applicant are attached.

Pertinent Design Guidelines

The Freight Shed is located in the *Waterfront* district and was constructed in 2005, which makes it a non-contributing structure, as defined by the Yorktown Historic District and Design Guidelines. The proposals should be evaluated for conformance with the standards for Site Planning and Landscape Alterations and Architectural Additions, Alterations, Additions, and New Construction (see standards beginning on page 55 of the Design Guidelines). A summary listing of those standards, along with staff comments regarding compliance, follows:

Standard	Comments
<p>II. The Waterfront</p> <p>A.Purpose</p> <p>The design guidelines for the Waterfront are intended to:</p> <ol style="list-style-type: none"> 1. Preserve the character of contributing buildings, landscapes, and the Waterfront as a whole; 2. Encourage an appropriate site design response to the area’s waterfront location that ensures protection and enhancement of water views and public access to the shoreline; 3. Promote and guide new construction that contributes to an architecturally unified Waterfront appropriate to Yorktown’s character. 	<p>The new pavilion would be consistent with the aesthetic of the Freight Shed building and the door repairs will blend with the overall look of the Freight Shed.</p> <p>The proposal does not affect views and improves the aesthetic of the area compared to the existing canvas tent.</p> <p>The new pavilion is in line with other structures along the waterfront and promotes an architecturally unified Waterfront.</p>
<p>Like many town centers, the Yorktown Waterfront is not the product of any one historical era, but rather reflects the changes in use and architecture that accompanied the growth of Yorktown over the years. The challenge for the Waterfront will be to recreate and revitalize its function as a focal point for Village activity while permitting it to continue to grow and change in the future. For this reason, sensitivity to the following design principles is essential:</p> <ol style="list-style-type: none"> 1. Buildings and façades should be compatible with the size and character of the area’s buildings, and should encourage active pedestrian activity and interaction. 2. The pedestrian scale should always be considered, with details and amenities scaled and provided for pedestrian activity wherever possible. 3. New buildings should respect and be compatible with existing design, height, and siting patterns with frontage directly on the sidewalk. Materials that are compatible with the character of the area, particularly brick and wood, should be used. 4. Scenic and pleasant views to and from the York River and vantage points such as the Coleman Bridge, the bluffs, and other significant sites should be protected and maintained. 	<p>The new pavilion will be compatible with the surrounding buildings and encourage active pedestrian activity and interaction.</p> <p>The pavilion would be on a pedestrian scale.</p> <p>The pavilion would be compatible with existing design, height, and siting patterns. It would have frontage directly on the sidewalk. However, the columns are proposed to be wrapped in PCV, rather than wood or brick, as the Guidelines advise.</p> <p>The new pavilion does not obstruct any views as it will be situated directly behind the Freight Shed.</p>

B. Site Planning and Landscape Alterations

1. Views

Scenic and pleasant views to and from the York River and vantage points such as the Coleman Bridge, the bluffs, and other significant sites should be protected and maintained. The effect of new construction on such views, and on views from surrounding properties, will be considered on a case-by-case basis. Views objectionable in the Historic District from such vantage points should be screened whenever possible. Preservation of historic, scenic views should take precedence over any special allowances concerning size, scale, form, and massing. When developing or redeveloping parcels located between Water Street and the river, one or more view corridors to the York River should be provided in the site design and layout. Such view corridors should have a minimum width of fifteen (15) feet and together comprise not less than 25% of the street frontage of the lot. Such view corridors may be provided through the use of side yard setbacks, open areas within the interior of the lot, transparent lines of sight through buildings, or any combination. In any case, the river should remain visible to pedestrians from Water Street at normal eye level.

Views from public rights-of-way and adjacent properties to ground-level utilities such as air conditioning units, trash and recycling containers, and satellite dishes must be screened. Such mechanical equipment should be located unobtrusively on the site in side or rear yards. Use appropriate evergreen plant materials or compatible, solid fencing as the preferred screening approaches. Other acceptable alternatives—either on their own or in combination with plant materials or fences—include the construction of compatible outbuildings to house such utilities, or the use of walls, provided they are in character with the primary building or outbuildings on the site.

The new pavilion will replace the existing tent being used at the Freight Shed for events. The new structure will be visible from the river and the adjacent properties but will not be obvious from Water Street or block views of the river. The HYDC should review any impacts that the new pavilion could have on views.

The proposed structure would be the same height as the Freight Shed and does not supersede the adjacent structures in terms of size, scale, form, or massing. Furthermore, the pavilion would have roll-down screens and would be completely open most of the year, which would preserve the line of sight to the river.

The pavilion will not necessitate the addition of any ground-level utilities.

<p>7. Lighting</p> <p>a. Landscape Lighting</p> <p>Landscape lighting should be visually unobtrusive during both the day and night. It should complement the architecture and outdoor spaces rather than spotlighting them. Lighting wattage should be understated and compatible with the setting and surroundings and must not create inappropriate light trespass onto adjacent properties or glare on adjacent properties, public streets or public areas.</p> <p>b. Building Lighting</p> <p>Building lighting should be provided only when it will enhance and complement the architectural features of a structure at night as opposed to spotlighting them for attention-getting purposes. Lighting wattage should be understated and compatible with the setting and surroundings and must not create inappropriate light trespass onto adjacent properties or glare onto adjacent properties, public streets or public areas.</p> <p>c. Street, Walkway and Parking Lot Lighting</p> <p>Poles, posts and fixtures should be designed and sized as an integral part of the site architecture and, generally, should not exceed the height of the eaves of nearby structures. Galvanized metal, bright colors, and other visually inappropriate materials should not be used for poles, posts or fixtures. Lighting wattage should be selected and limited to achieve appropriate illumination levels for safety and security while avoiding light glare and trespass onto adjacent properties, public streets or public areas.</p>	<p>No additional landscape lighting is proposed.</p> <p>Lighting for the pavilion will be located under the roof and not on the outside of the structure.</p> <p>No additional lighting for walkways is proposed for the area where the pavilion will be located.</p>
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<p>C. Architectural Additions, Alterations and New Construction</p> <p>1. Planning for Alterations, Additions and New Construction</p> <p>a. Scale</p> <p>The size and proportion of new structures should be related to and compatible with the scale of adjacent buildings. Roof lines, building façade widths and rhythm of other features should be consistent with the scale of adjacent buildings, a pedestrian orientation, and the general character of the Waterfront.</p> <p>b. Massing</p> <p>(1) In general, a simple, rectangular building form should be used. Appropriate design variations could include a single, rectangular, box-like building, a single building with more complex massing of several rectangular forms, or a primary building with one or more accessory buildings or dependencies. Large box-like forms should be broken into smaller, varied masses that are more characteristic of Yorktown.</p> <p>c. Height</p> <p>The overall height of new construction should relate to that of adjacent structures and to the objective of maintaining desirable views to and from the Waterfront and the adjacent bluffs and other significant vantage points.</p> <p>d. Roof Shapes</p> <p>(1) Roof shapes should be a traditional gabled style with a slope consistent with those found on <i>pivotal</i> and <i>contributing</i> buildings throughout the village. Roof shapes and orientation should be designed with consideration given to maintaining views and visibility from the bluffs and other significant vantage points.</p> <p>(2) Flat roofs, although they may optimize views from the bluffs and other significant vantage points, should be avoided since they will not produce the quality and character appropriate for the Waterfront.</p> <p>e. Design</p> <p>(1) Overall building design should be consistent with the character of Yorktown and particularly the style, shape and massing of the buildings on Main Street.</p> <p>(2) Standard, corporate designs for national franchise businesses should be avoided unless these designs are</p>	<p>The pavilion would be no longer than sixty feet (60'), and while each option varies in width, none exceed forty-five feet (45'). The Freight Shed is sixty-seven feet in length by thirty-five feet in width (67' x 35'), which means the façade width and scale would be generally consistent with the scale of the Freight Shed.</p> <p>The pavilion would have a simple rectangular building form.</p> <p>None of the proposed options exceed twenty-eight feet (28') in height and the Freight Shed is twenty-eight feet (28') in height, as well. The overall height of the proposed pavilion would relate to the adjacent structure and would not block desirable views to and from the Waterfront.</p> <p>Pavilion Options A and C would have a hipped roof, while Options B and D would have a gabled roof. All the main and cross-gable roofs would have an 8:12 slope, except for the cross-gable roofs on Option A, which would have a 12:12 slope. The proposed roof options would be similar to those found on pivotal and contributing buildings and would preserve views from significant vantage points.</p> <p>A flat roof is not proposed.</p> <p>The overall design of each pavilion option would be consistent with the character of Yorktown.</p> <p>The pavilion is not proposed by a national franchise with a corporate design. The</p>
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<p>compatible with the character of the Yorktown Waterfront.</p> <p>f. Sense of Entry/Orientation</p> <p>All primary buildings should have an orientation and entrance to Water Street. Buildings on parcels located between Water Street and the York River should also have a façade developed to orient to the river. Entries should be articulated with covered porches, porticos or other pronounced architectural forms.</p>	<p>design would be compatible with the character of Yorktown.</p> <p>The pavilion would be accessory to the primary Freight Shed building; however, it would have access on all four sides.</p>
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<p>2. Architectural Elements</p> <p>a. Walls</p> <p>(1) Wall materials should be compatible with those of existing construction in type, color, texture, size, spacing, and general appearance. Weathered, stained or painted wood, and brick are the preferred materials in the Waterfront area. Composite or synthetic wood or wood substitutes may be approved by the HYDC on a case-by case basis.</p> <p>(2) Wood siding should be horizontal clapboard (beaded edge or beveled) with approximately 6 inches exposure. Trim should be made of trim-grade lumber, not to exceed 2 inches in actual thickness, 6 inches in width at corners and 4 inches around openings- except for trim around the main entrance(s) which can be of different sizes and configurations compatible with the building style and features.</p> <p>(3) Brick walls should be made out of Virginia red brick. Wire cut brick should only be used for painted surfaces. Brick that is bright red, orangish-red, pink, light red, tan or similar colors inconsistent with the types common in Yorktown should not be used. Mortar should be in a beige-to-tan color range. White mortar is not appropriate.</p> <p>(4) Exposed exterior wall surfaces should not consist of more than two materials, and those materials should change along a horizontal line such as a floor line or gable end – with the heavier material always being below the lighter material.</p> <p>(5) Buildings with siding must have foundation walls faced with brick.</p> <p>(6) Retaining walls should be finished in brick or granite.</p> <p>(7) Metal siding is not appropriate.</p> <p>(8) Tile-faced or ceramic-faced masonry units are not appropriate.</p> <p>(9) Varnished, epoxy-finished or otherwise shiny materials are not appropriate.</p>	<p>The structure would not have walls, but the columns are proposed to be wood or steel wrapped in white PVC, rather than painted wood as the Guidelines advise.</p> <p>The siding proposed on the gable ends would be horizontal Hardiplank with a beveled edge. The applicant stated in his narrative that he was unsure of the exposure, but he believed it would be no more than six inches (6”). While the siding would be Hardiplank instead of wood, this is consistent with many properties in Yorktown. The trim is proposed to be PVC with ¾” thickness. The width of the trim would be one-and-a-half inches (1 ½”) except for the posts that have electrical conduit running through them—those would be slightly larger. A condition of approval has been included that would require the trim to adhere to these standards.</p> <p>No brick is proposed.</p> <p>The structure would not have walls, but the exterior surface of the columns would be PVC, and the gable ends would be Hardiplank.</p> <p>No foundation is proposed.</p> <p>No retaining walls are proposed.</p> <p>No metal siding is proposed.</p> <p>Tile-faced and ceramic-faced masonry are not proposed.</p> <p>No shiny materials are proposed.</p>
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<p>b. Building Color</p> <p>(1) Paint colors for all exterior surfaces (excluding fences) should be selected comprised of a color or colors from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Other colors may be proposed and will be considered on a case-by case basis.</p> <p>(2) All wooden fences should be painted white or, if to be left natural, properly treated or sealed to preserve and maintain their appearance.</p> <p>d. Windows and Shutters</p> <p>(1) Window openings should be designed to respect the width to height ratio of the bays in the building façade. Attention should be given to the façade’s overall composition, symmetry, or balanced asymmetry. Windows should be square or vertical in proportion. Casement windows should be avoided.</p> <p>(2) Windowless elevations visible from Water Street, the river, or public spaces should be avoided.</p> <p>e. Roofs</p> <p>(1) In general, roofs should be of a symmetrical gable style. Primary roofs should have slopes no less than 9:12. Secondary roofs may have slopes less than 9:12 depending on the material used (e.g. – a standing seam roof over a porch might have a lesser slope).</p> <p>(2) Steep gable roofs (e.g., greater than 12:12 pitch) are not appropriate.</p> <p>(3) Dormers are appropriate if they encompass only the width of the window and have roofs that match the form and pitch of the main roof.</p> <p>(4) Roof materials should be wood or asphalt/fiberglass composition shingles, or cement shingles. Shingle colors should be</p>	<p>The columns and trim would be white. The Hardieplank siding on the gable ends would be white or grey, depending on the option. The shade of grey is unspecified; therefore, a condition of approval has been included that would require all colors to be selected from the Yorktown Color Palette.</p> <p>No fencing is proposed.</p> <p>Option D would have half-round windows, while the Guidelines recommend that windows be square or vertical in proportion. The façade’s overall composition is open and balanced. A condition of approval has been proposed that would require the windows to be square or vertical in proportion.</p> <p>Options A, B, and C do not have windows; however, windows are more often on walls than gable ends, and the pavilion would not have walls.</p> <p>Options B and D would have symmetrical gable roofs, while Options A and C would have hipped roofs. The primary roofs would have a slope of 8:12, though the Guidelines recommend no less than a 9:12 slope. The secondary roofs on Option A would have a slope of 12:12, while the secondary roofs of Options B, C, and D would have an 8:12 slope. A condition of approval has been proposed that would require the roofs to be of a symmetrical gable style with no less than a 9:12 slope.</p> <p>None of the proposed options would have a roof pitch greater than 12:12.</p> <p>No dormers are proposed.</p> <p>The pavilion would have a synthetic slate tile roof, which would be grey, like the</p>
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<p>compatible in color with the exterior color of the building, either existing or as selected from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Also appropriate are metal standing-seam roofs with factory-applied finishes in a traditional, compatible color, or copper standing-seam.</p>	<p>Freight Shed's roof. The proposed material is not consistent with this Guideline; however, many of the surrounding roofs have the same synthetic slate tiles.</p>
<p>(5) Roof vents, chimney caps and plumbing vents shall match the color of the roof or shall be black, dark gray, or copper/bronze.</p>	<p>No roof vents, chimney caps, or plumbing vents are proposed.</p>
<p>(6) Flashing may be copper or anodized aluminum or painted to match or complement the color of the building or roof.</p>	<p>Copper flashing is proposed around the drip-edge of the pavilion's roof.</p>
<p>f. Chimneys/Vents</p>	
<p>(1) Chimneys that would become a dominant feature of the waterfront skyline should be avoided. Chimneys and flue enclosures should be made of brick, painted or left natural depending on the type of siding/color of the building. Chimneys may be either external or internal.</p>	<p>No chimneys or flues are proposed.</p>
<p>(2) Commercial kitchen exhaust vents shall be concealed from view from public streets, walkways and the river.</p>	<p>No vents are proposed.</p>
<p>g. Porches and Balconies</p>	
<p>(1) Use porches, arcades and other similar covered areas as protective and transitional spaces between commercial uses and public rights-of-way.</p>	<p>The pavilion would be open and allow for transition to the adjacent sidewalk.</p>
<p>(2) All posts or columns for porches should be consistent and compatible with the scale and character of the building. Columns and posts should be painted to match the trim color of the building.</p>	<p>All the columns for the structure would be wood or steel, wrapped in white PVC, and scaled to fit the character of the building. The trim would be white PVC as well.</p>
<p>(3) Stoops at secondary entrances should be made of brick, or brick-faced concrete.</p>	<p>No stoop is proposed.</p>
<p>(4) Railings should have top and bottom rails and balusters should have a vertical orientation. Wood or wrought iron is an appropriate material for railings.</p>	<p>No railings are proposed.</p>
<p>h. Gutters and Downspouts</p>	
<p>(1) The use of ground gutters is encouraged.</p>	<p>The structure will not have gutters.</p>
<p>(2) If fascia-mounted guttering is used, it should be metal with a half-round configuration. Copper is the preferred material; however, metal with a factory-applied finish color that matches or complements the roof or building color may also be considered. Downspouts should be of round cross-section or other shape appropriate to the</p>	<p>No gutters are proposed.</p>

<p>style of the building, and made either of copper or metal with a factory-applied finish color that matches or complements the color of the wall surface to which they are attached.</p> <p>i. Awnings</p> <p>Canvas awnings are appropriate for commercial uses provided they are positioned so as not to disrupt the symmetry or rhythm of the building façade. Awnings should be of a single color, but in no case more than two colors, selected to complement the exterior color scheme of the building and in consistency with the Yorktown Color Palette, as defined in Appendix 3, Glossary.</p> <p>j. Utilities</p> <p>(1) Window-type air conditioning units, either in windows or inserted in special openings in the building wall, are not acceptable.</p> <p>(2) The use or placement of television antennas or building-mounted satellite dishes visible from public rights-of-way or the river is not acceptable. Such equipment should be located in attic spaces or inconspicuous exterior locations.</p> <p>(3) Typical rooftop mechanical equipment should be screened completely from view from both the village and the river by locating such equipment in attics, dormers, cupolas or by concealing them behind/within a gabled roof form or other appropriate architectural feature. Buildings should accommodate such equipment in such a way that no portion thereof is visible from adjacent residential areas or key vantage points.</p>	<p>No awnings are proposed.</p> <p>The structure will not be served by utilities.</p> <p>No antennas or dishes are proposed.</p> <p>No rooftop equipment is proposed.</p>
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Under Section 24.1-377(h), the following guidance is provided for the evaluation of applications proposing new construction:

(3) For new construction, the following shall apply:

- a. The design for new construction shall be sensitive to and take into account the special characteristics that the district is established to protect. Such considerations are to include building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, texture, color, architectural details, roof forms, emphasis of horizontal or vertical elements, walls, fences, and any other features deemed appropriate by the reviewing authority (Zoning Administrator or HYDC).
- b. The design of the new construction shall recognize the relationships among buildings in the immediate setting rather than specific styles or details since architectural styles and details may throughout the Historic District.

Recommendation

In the staff's opinion, the pavilion options proposed are generally consistent with the Design Guidelines and the overall look of Riverwalk. It will replace the canvas tent that does not meet the Guidelines. Staff believes that the proposed building will be visually appealing and that it merits approval. Accordingly, it is recommended that the Committee find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

1. The pavilion shall be constructed in accordance with the application materials submitted by the applicant and received by the Planning Division on September 19, 2025, copies of which will remain on file with the Planning Division, except as modified herein.
2. Clapboard siding shall have approximately 6 inches of exposure.
3. Trim shall not exceed 2 inches in actual thickness, 6 inches in width at corners and 4 inches around openings.
4. All colors shall be selected from the Yorktown Color Palette.
5. All windows shall be square or vertical in proportion.
6. The primary roof shall be of a symmetrical gable style with no less than a 9:12 slope.

Attachments

- Application materials and plans



HYDC #: <u>280-25</u>
Date Filed: <u>9/19/25</u>

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

I/We COUNTY OF YORK request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: 331 Water St, Yorktown, VA 23690

NOTE: If the property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

GPIN: P12d-2650-1540

Proposed Action(s):

<input type="checkbox"/>	New Building	<input type="checkbox"/>	Repainting with existing color scheme
<input checked="" type="checkbox"/>	Addition	<input type="checkbox"/>	Repainting with different color scheme
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	New roof – same color and materials
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	New roof – different color or materials
<input type="checkbox"/>	Deck / Porch / Trellis	<input type="checkbox"/>	New / replacement windows
<input type="checkbox"/>	Garage / Storage Shed	<input type="checkbox"/>	Signs (new or replacement)
<input type="checkbox"/>	Walls / Fences	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Other (please describe) <u>40'x60' Pavilion</u>		

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: Installation of a permanent 40'x60' wooden pavilion. The permanent pavilion is set to replace the existing plastic tent in its exact location.

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

HYDC Meeting – October Meeting

Freight Shed Pavilion

Questions / Details

1. What paint, stain, siding, and shingle colors (and anything else I'm not thinking of) would be on the pavilion?
 - a. The ceilings will be scissor trusses or a coffered ceiling, depending on the option. These will either be made of treated wood or steel.
 - b. It looks like the columns are proposed to be stained wood—what stain color would you use?
 - i. Columns will be treated wood or steel structural columns. Which will be wrapped with a decorative PVC column; white in color.
2. What size and height would the pavilion be?
 - a. The pavilion varies in width between each option, but does not exceed 45'. The length of the pavilion would be no larger than 60'. The height of the pavilion does not exceed 28', at its highest point, in any option.
3. What materials would be used for the end gables? It looks like siding—is it hardiplank, wood, or something else.
 - a. It would be Hardie planks and trim. Options A and B show a design on each gable end; which would have background of Hardie planks in gray and the trim (to mimic the design) would be in white. For options C & D this siding material would be Hardie planks in white.
4. Would there be any sort of pull-down or removable walls on the pavilion? If so, can you describe the materials and colors that would be used?
 - a. Yes, there would be automatic screens installed between each column. These screens would be mounted directly to the underside of the cross beams. They would primarily be black in color, with one of the screens

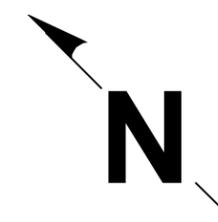
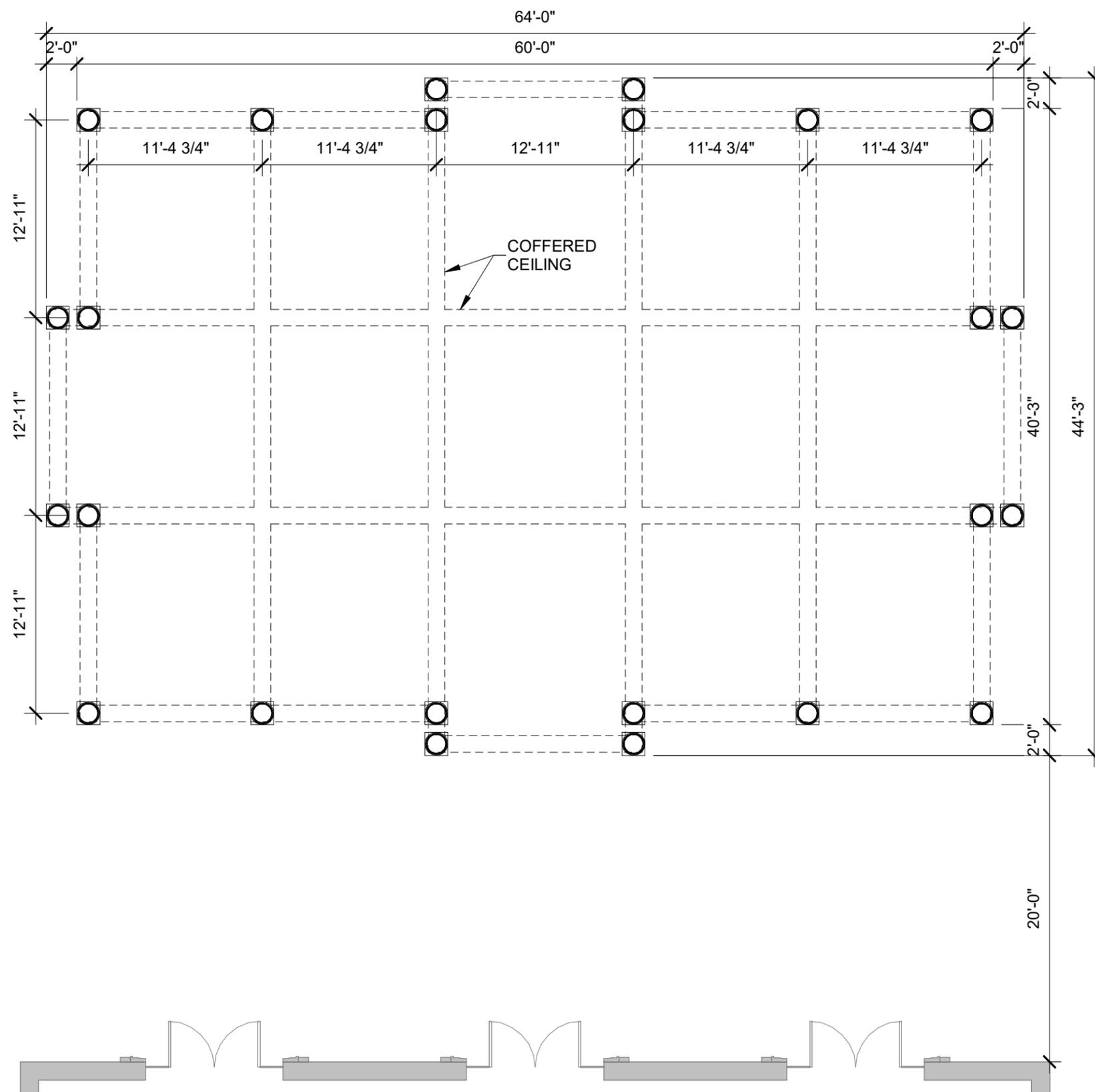
having a large opening for a clear vinyl window and another being an insect screen.

- b. To prevent the screens from warping, additional support will be provided by installing a PSL post inside the column. This post will serve as blocking and remain concealed.
5. What type of shingle is proposed?
 - a. DaVinci Slate Tiles (color and style to match)
6. What type of trim would be used--would it be wood or a synthetic material?
 - a. PVC trim; trim would be painted to match the Freight Shed white.
7. Will the Hardiplank on the end gables be white?
 - a. For options C & D.
8. The compartments that hold the roll-down screens would be inset into the structure or attached to the exterior. If they're inset, they would be invisible, right? If they're attached to the exterior, they'll be black?
 - a. They will be black in color and attached directly to the cross beams between each of the openings between columns.
9. What color will the synthetic slate tile roof be?
 - a. Same as everything else within the area.
10. Do you know if other roofs in the Riverwalk have synthetic or real slate tiles?
 - a. They are all synthetic.
11. What is the slope of the pavilion roof?
 - a. This varies between each option
 - i. Option A:
 1. Main roof: 8:12
 2. Gables: 12:12
 - ii. Options B, C, & D:
 1. Main roof: 8:12
 2. Gables: 8:12
12. What is the slope of the Freight Shed roof?
 - a. We do not have an existing plans for this building so I will not be able to get you this information.

13. What is the height of the Freight Shed?
 - a. No higher than 28' at its highest point.
14. Will there be any roof vents?
 - a. There will be no roof vents.
15. Will the roof have flashing?
 - a. There will only be copper flashing around the drip edge of the pavilion's roof.
16. Will the pavilion have gutters and downspouts?
 - a. No, it will have neither.
17. What type of edge will the Hardiplank have? How many inches will the Hardiplank have exposed?
 - a. It will be beveled and I am not sure of the exact amount of the Hardie plank that will be exposed. I would assume it would be no more than the 6" mentioned within the guidelines.
18. How thick will the PVC trim be?
 - a. The PVC trim will be 3/4" thick.
19. What width will the trim be?
 - a. 1-1/2" bigger than the size of the posts with the exception of the post that have electrical conduit running through it, which will be slightly larger.

Additional Comments:

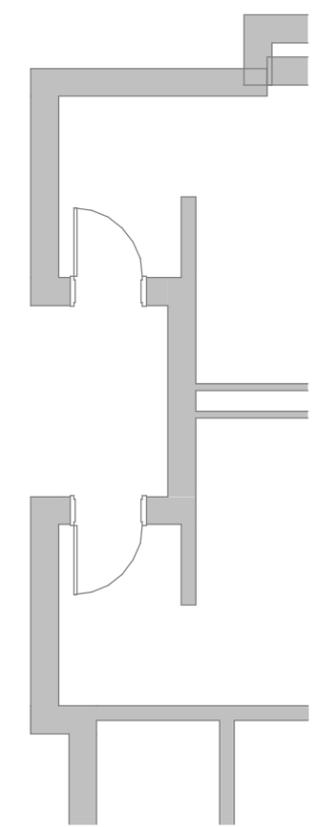
- All decorative trim around the roof line (fascia and soffits) shall be wood, painted white.

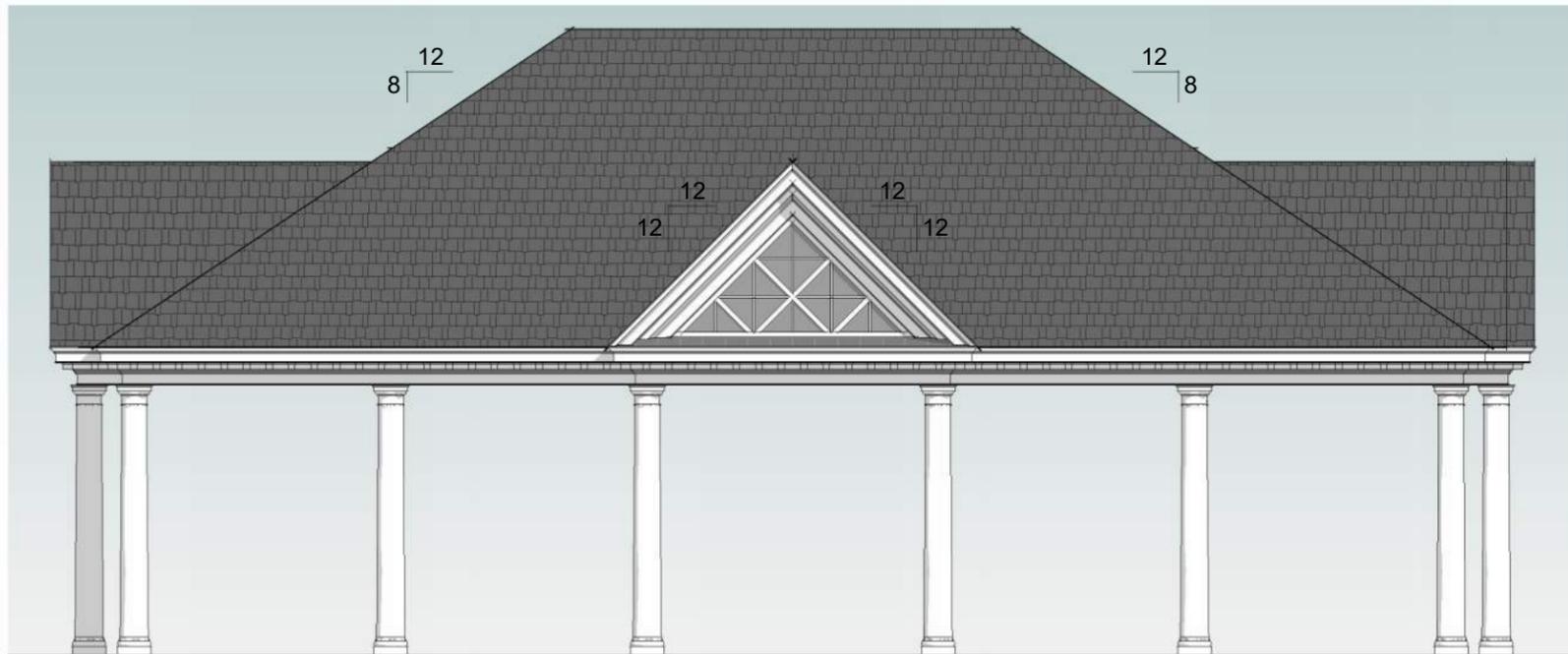


PAVILION FLOOR PLAN



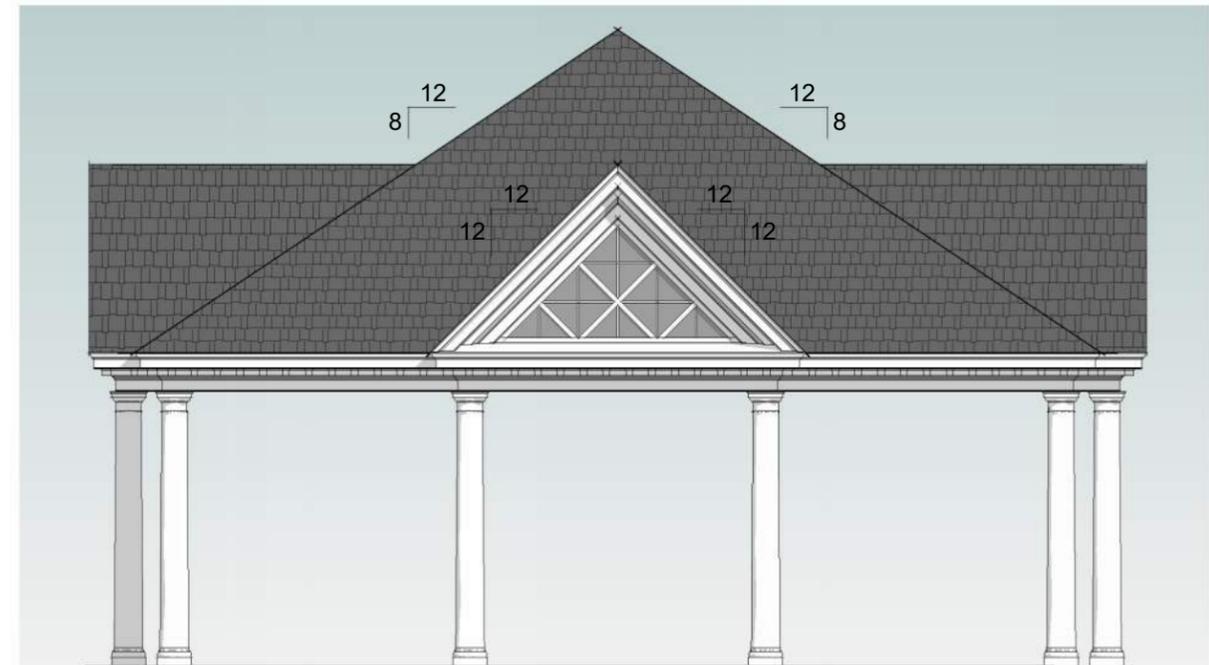
OPTION A





FREIGHT SHED PAVILION - FRONT ELEVATION

1/8" = 1'-0"



TYPICAL SIDE ELEVATION

1/8" = 1'-0"



FREIGHT SHED PAVILION - REAR ELEVATION

1/8" = 1'-0"

OPTION A



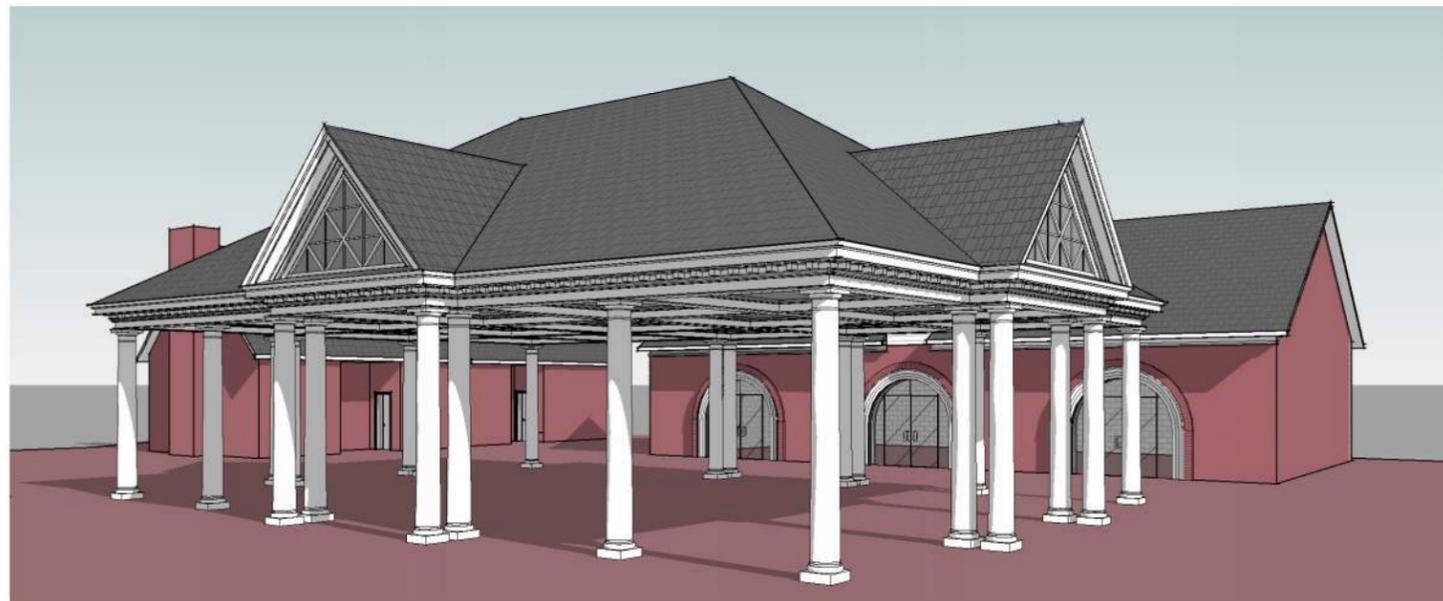
FREIGHT SHED PAVILION - ELEVATIONS

OPTION A

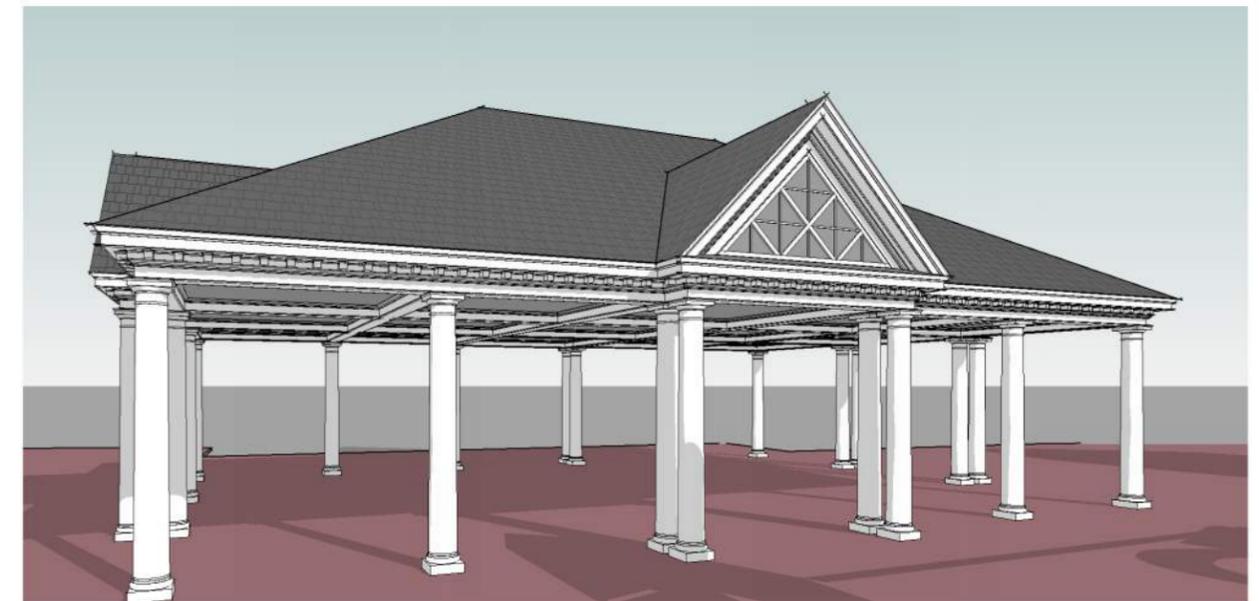


SIDE ELEVATION

1/8" = 1'-0"

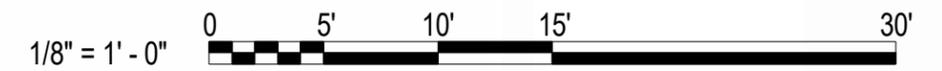


VIEW OF PAVILION FROM WATER



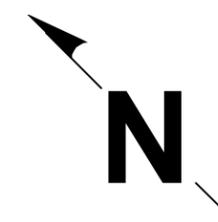
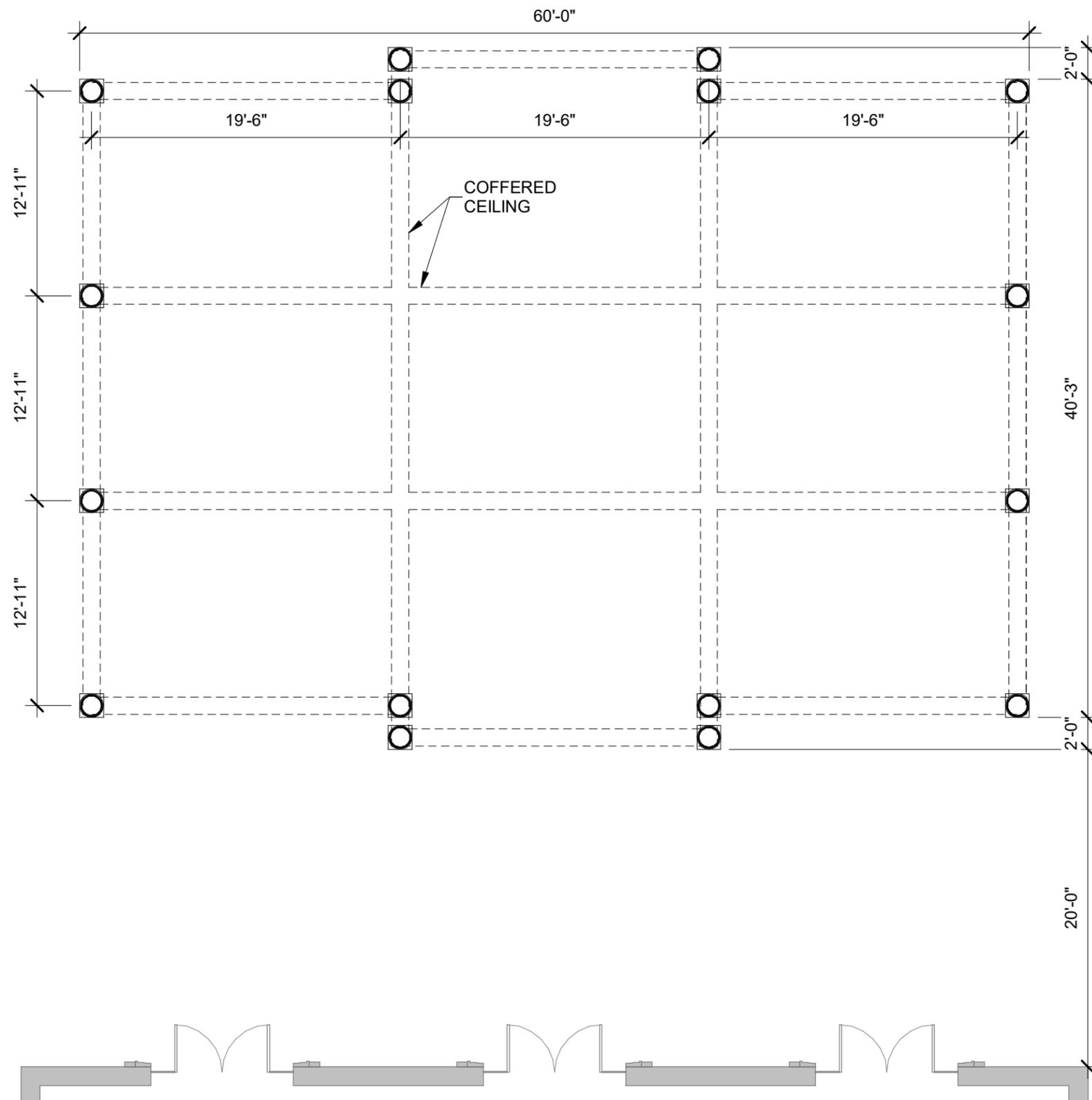
VIEW OF PAVILION FROM FREIGHT SHED

OPTION A

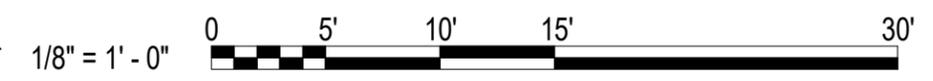


FREIGHT SHED PAVILION - VIEWS

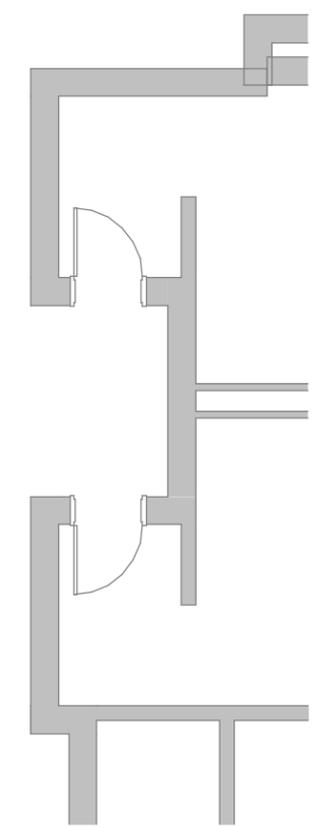
OPTION A

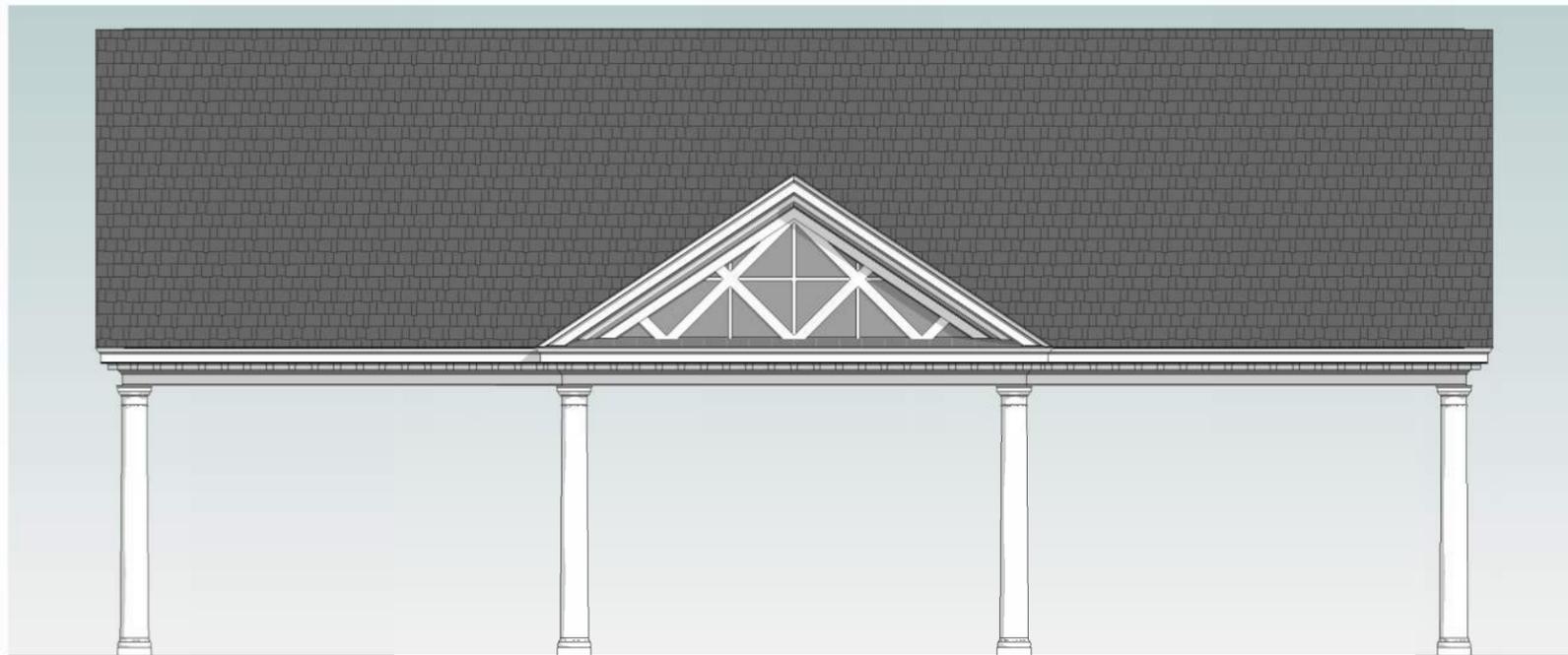


PAVILION FLOOR PLAN



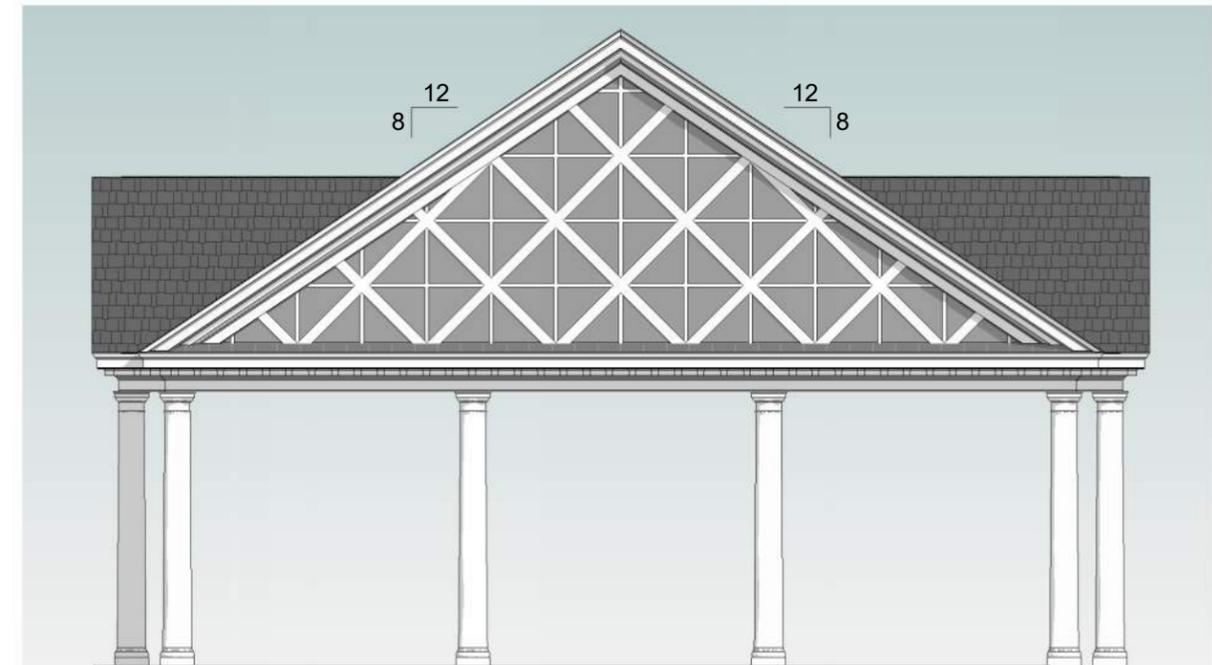
OPTION B





FREIGHT SHED PAVILION - FRONT ELEVATION

1/8" = 1'-0"



TYPICAL SIDE ELEVATION

1/8" = 1'-0"



FREIGHT SHED PAVILION - REAR ELEVATION

1/8" = 1'-0"

OPTION B



FREIGHT SHED PAVILION - ELEVATIONS

OPTION B



SIDE ELEVATION

1/8" = 1'-0"



VIEW OF PAVILION FROM WATER



VIEW OF PAVILION FROM FREIGHT SHED

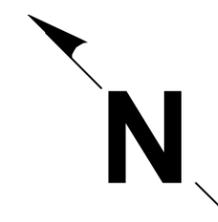
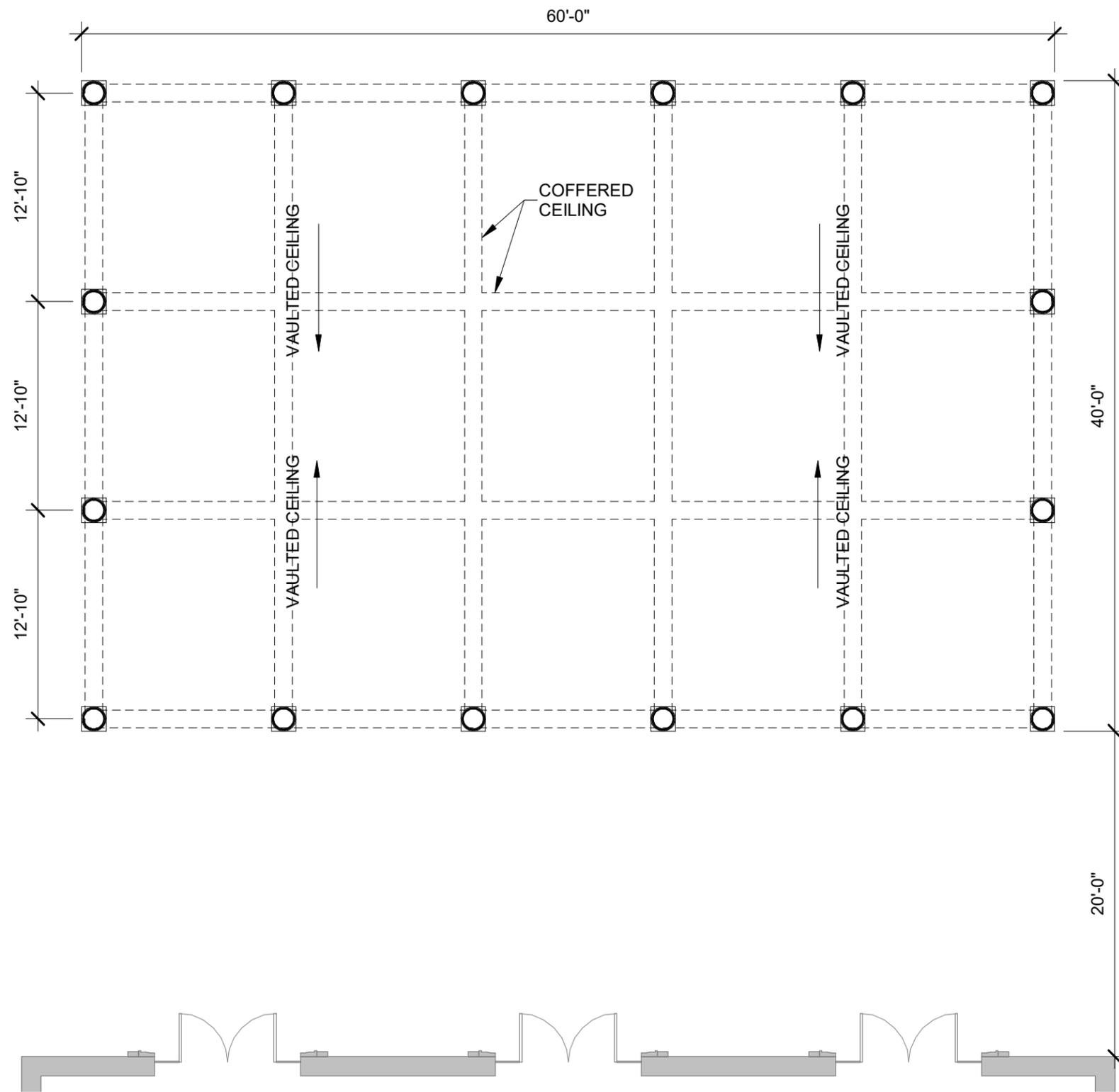
OPTION B



FREIGHT SHED PAVILION - VIEWS

OPTION B

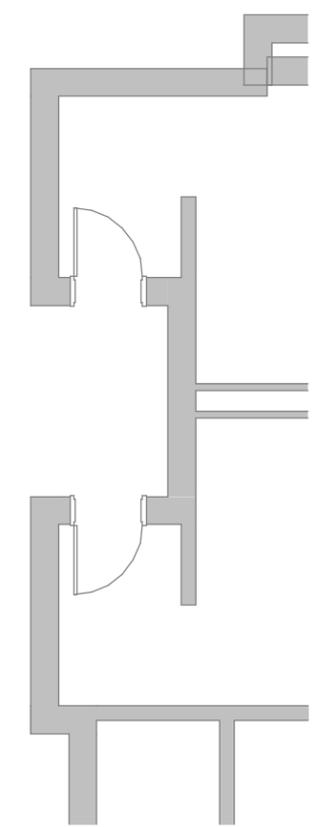


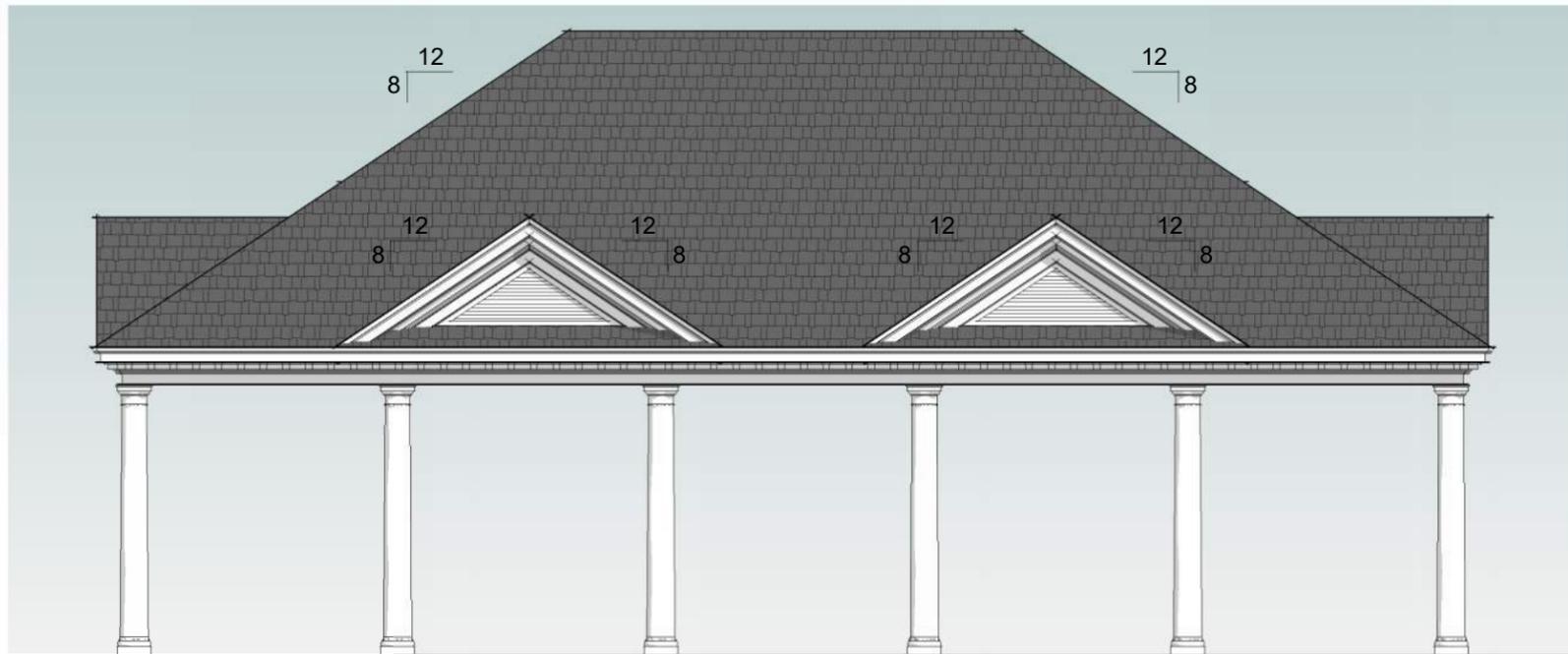


PAVILION FLOOR PLAN



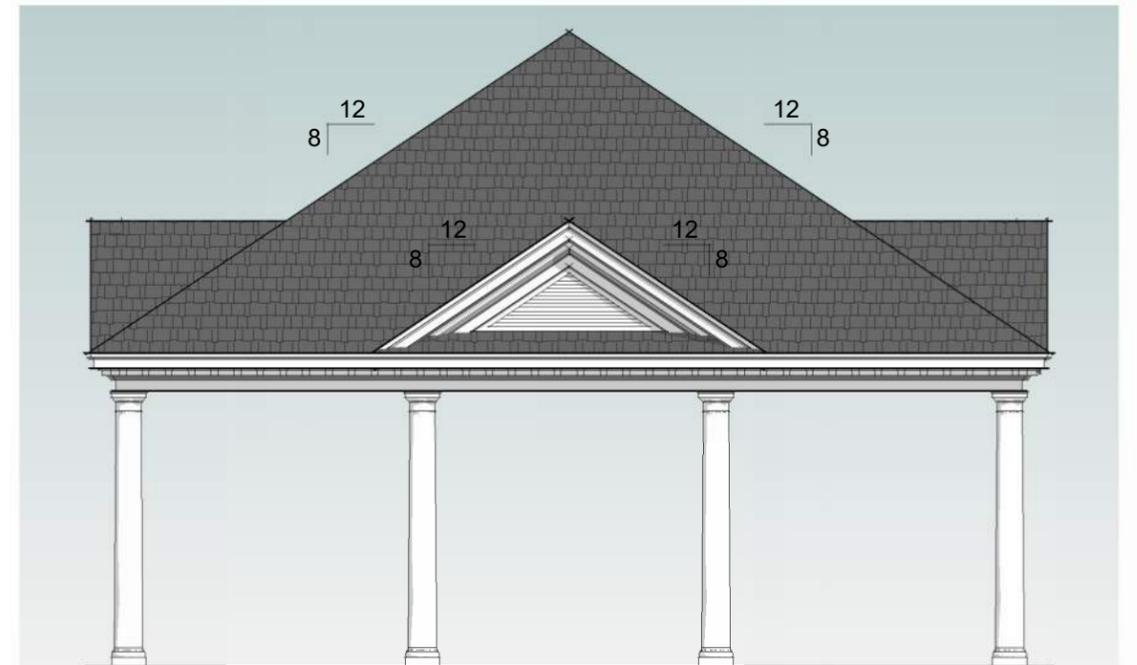
OPTION C





FREIGHT SHED PAVILION - FRONT ELEVATION

1/8" = 1'-0"



TYPICAL SIDE ELEVATION

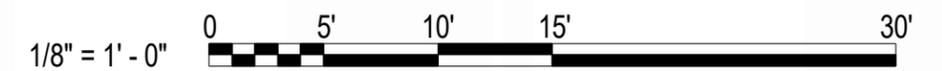
1/8" = 1'-0"



FREIGHT SHED PAVILION - REAR ELEVATION

1/8" = 1'-0"

OPTION C



FREIGHT SHED PAVILION - ELEVATIONS

OPTION C

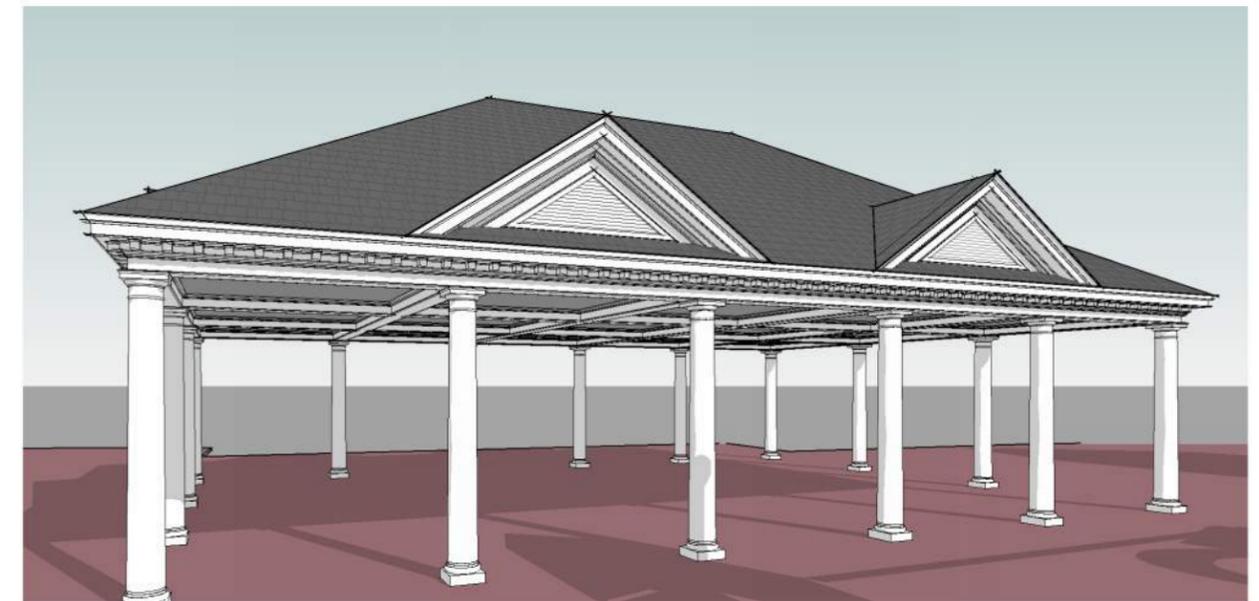


SIDE ELEVATION

1/8" = 1'-0"

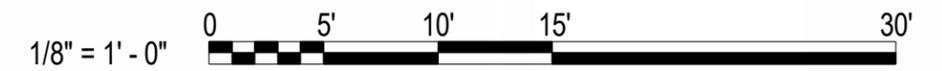


VIEW OF PAVILION FROM WATER



VIEW OF PAVILION FROM FREIGHT SHED

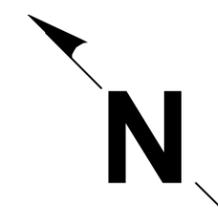
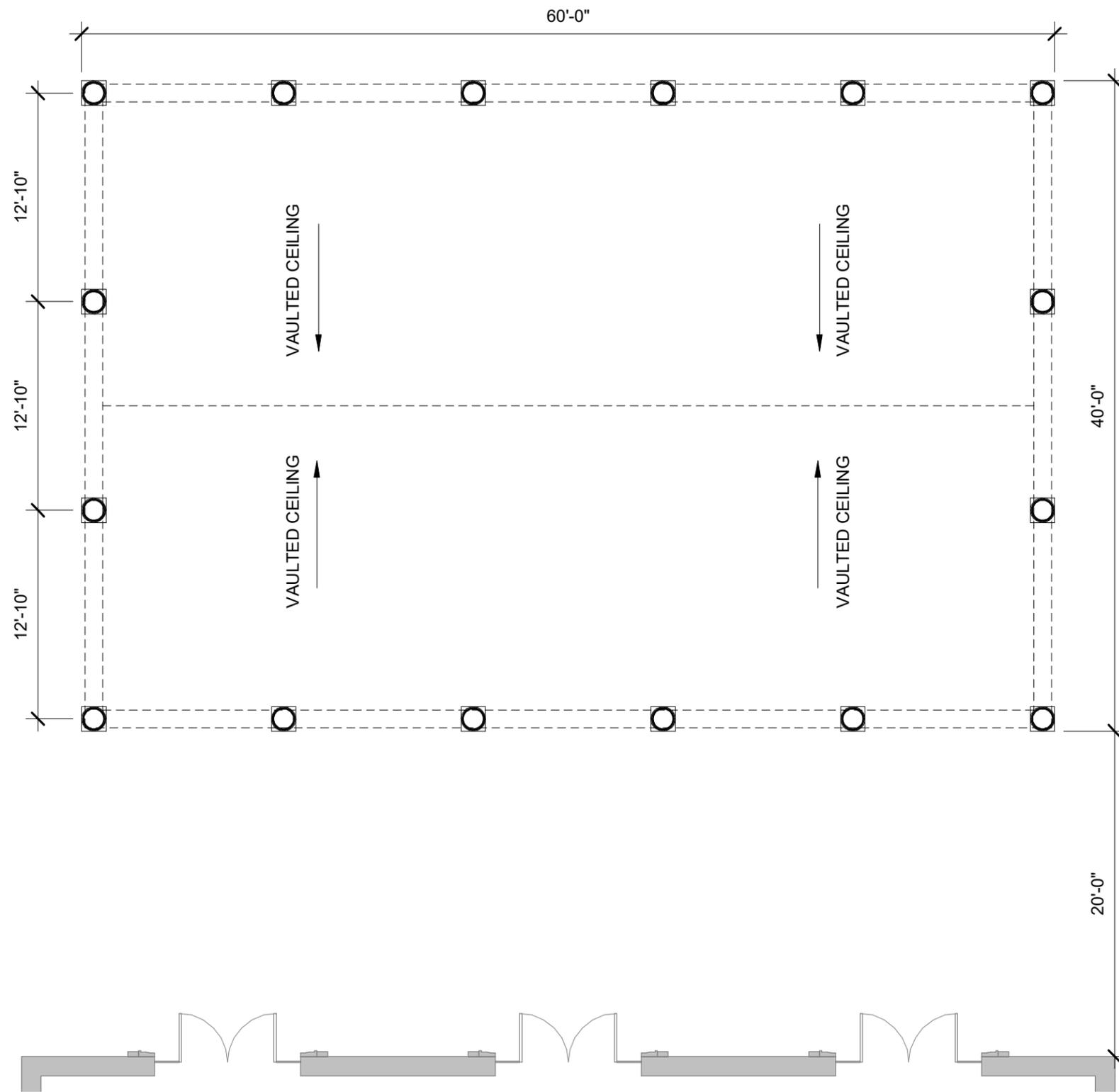
OPTION C



FREIGHT SHED PAVILION - VIEWS

OPTION C

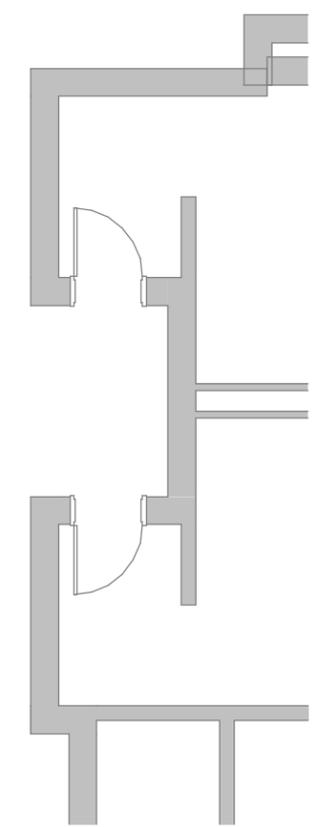




PAVILION FLOOR PLAN



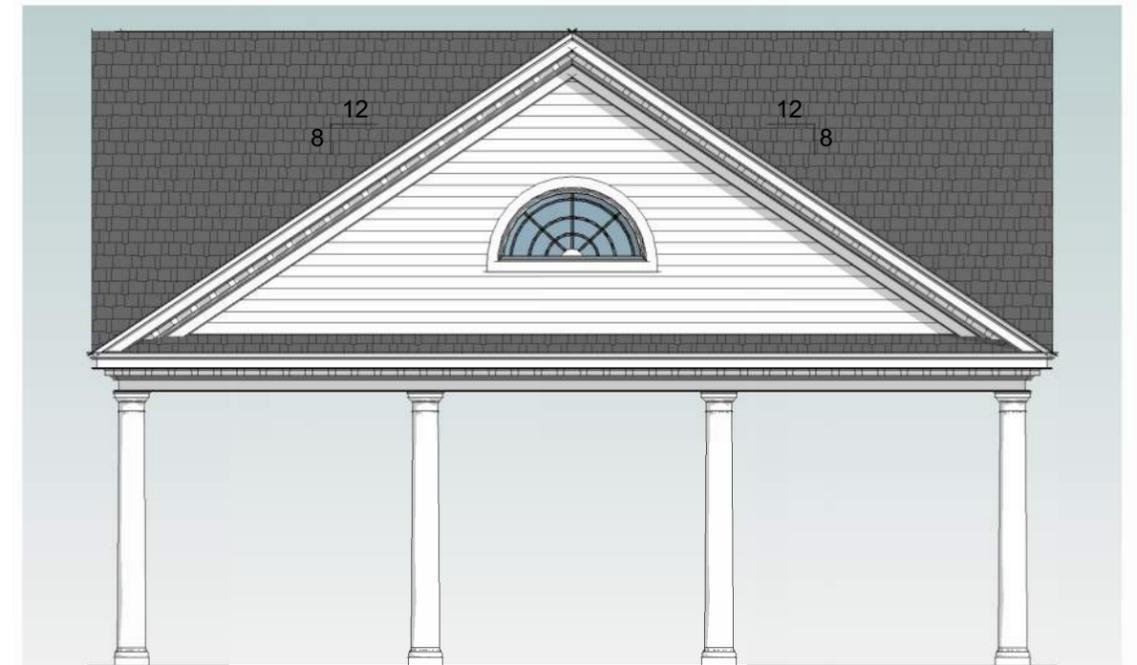
OPTION D





FREIGHT SHED PAVILION - FRONT ELEVATION

1/8" = 1'-0"



TYPICAL SIDE ELEVATION

1/8" = 1'-0"



FREIGHT SHED PAVILION - REAR ELEVATION

1/8" = 1'-0"

OPTION D



FREIGHT SHED PAVILION - ELEVATIONS

OPTION D



SIDE ELEVATION

1/8" = 1'-0"

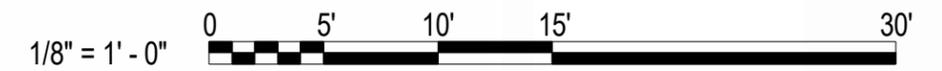


VIEW OF PAVILION FROM WATER



VIEW OF PAVILION FROM FREIGHT SHED

OPTION D



FREIGHT SHED PAVILION - VIEWS

OPTION D

