

# COUNTY OF YORK

## MEMORANDUM

**DATE:** September 30, 2024  
**TO:** York County Board of Supervisors  
**FROM:** Mark L. Bellamy, Jr., County Administrator  
**SUBJECT:** Colonial Behavioral Health

A handwritten signature in blue ink, appearing to be 'MLB', is written over the 'FROM' line of the memorandum.

On Monday, staff and I met with David Coe, Executive Director, and Kyra Cook, Director of Special Projects, to discuss Colonial Behavioral Health's plans for a new building. During the meeting, they briefed us on their proposal and mentioned that they will be submitting a funding request through the Capital Improvement Plan in the upcoming year.

Schott/3326

**Attachments:**

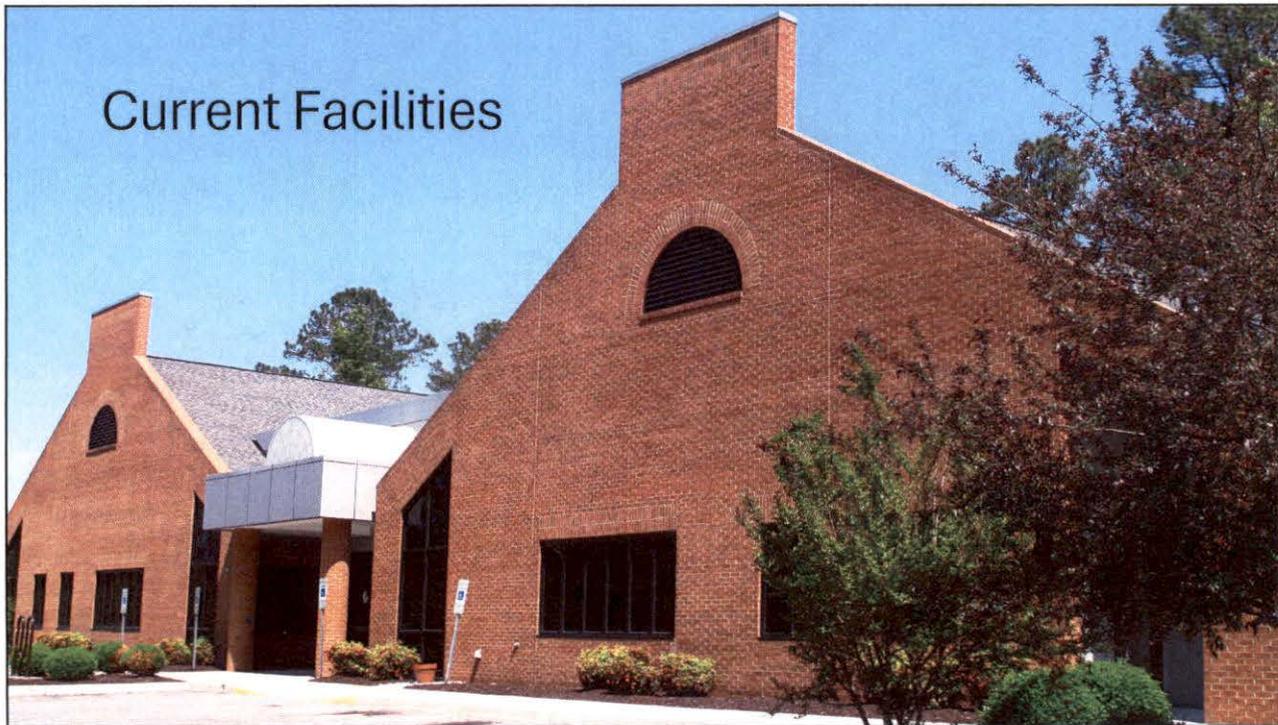
- Colonial Behavioral Health Facilities Planning Update PowerPoint
- Space Needs Analysis dated August 15, 2024

# Colonial Behavioral Health

Facilities Planning Update

1

## Current Facilities



2

## Office-Based Locations

- 1651 Merrimac Trail
  - ES, Adult OP, IOP, MHCM, Gero, Pharmacy
- 1657 Merrimac Trail
  - ACT, General Svcs, IT/IS, QM
- 1659 Merrimac Trail
  - DD Day, DDCM, Transportation
- 111 Warwick Court
  - People's Place (Adult PSR)
- 921 Capitol Landing Road (WB)
  - GWCAC, Child/Adolescent Svcs.
- 3804 George Washington Hwy.
  - York-Poquoson Office (York)
- 473 McLaws Circle (Leased)
  - Administration, HR

*Note: Red locations in York County*

3

## Other Service Locations

- CITAC
  - Riverside Doctor's Hospital, Williamsburg
- Merrimac Detention Center
- Olde Towne Medical & Dental Center
- Two (2) group homes for adults with DD

4

# Facility Development Plan

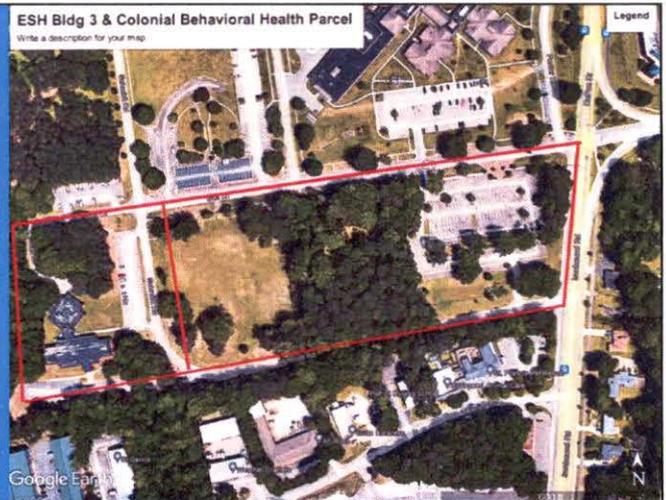
- Consolidation of Primary Office Locations
  - Reduce from current 7 buildings to 4
- New Configuration
  - Crisis Services Center (new services)
  - Clinical/Administration Services Center
  - Day Services Center
  - York-Poquoson Services Center



5

## Crisis Services Center

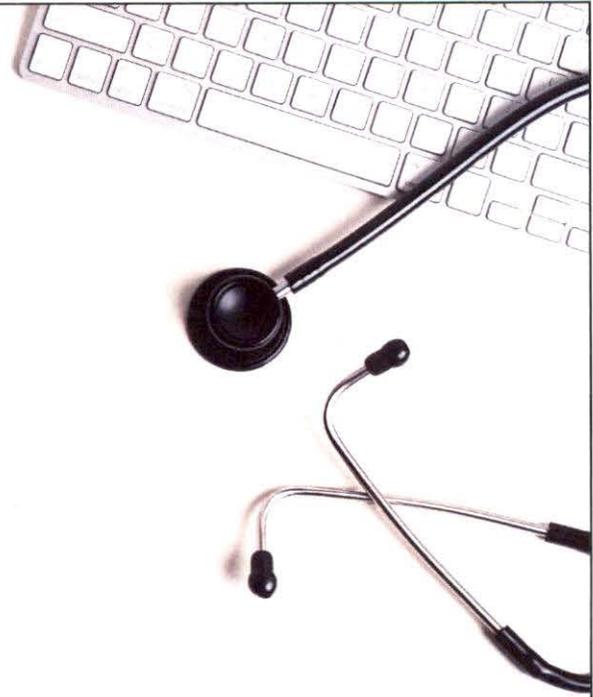
- First building in plan
  - Emergency Services
  - CITAC
  - Mobile Crisis
  - 12-Chair Crisis Receiving Center
  - 8-bed Crisis Stabilization Unit
- Procurement in process
- Land conveyed from state via JCC
- Funded by state (*Right Help Right Now*)



6

## Clinical/Administration Services Center

- TO BE LOCATED ON NEW PARCEL
- Central Access
- Outpatient and Psychiatry (all populations)
- Pharmacy
- IOP
- Integrated Care (with new provider)
- Case Management (all populations)
- Assertive Community Tx (ACT)
- MH Skill-Building
- Partial Hospitalization (future)
- Administration (centralized)



7



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## Day Services Center

- Opportunities Unlimited (DD)
  - Adult DD Day Support
  - Community Engagement
- People's Place (MH)
  - Adult MH Psychosocial Rehab
- Skills Training Apartments
  - Available to benefit all programs and populations
- Supported Employment
- New Location (TBD)

8

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## York-Poquoson Services Center

- Current array of services
- Space to grow
  - Psychosocial Rehab services
  - Existing programs
  - Integrated Care availability
  - Other future programming
- Location TBD



9

## Timeline

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- Space needs analysis (completed)
- Crisis Services Center design/construction
- Capital campaign development
- Phasing plan
- Financing



10



# Space Needs Analysis

August 15, 2024

# Colonial Behavioral Health Space Needs Analysis - 2024

## Table of Contents

Title	Page #
Introduction .....	3
Executive Summary .....	5
Space Needs Analysis .....	6
1. Merrimac Campus Building 1, 1651 Merrimac Trail, Williamsburg, VA .....	7
2. Merrimac Campus Building 2, 1657 Merrimac Trail, Williamsburg, VA .....	9
3. Merrimac Campus Building 3, 1659 Merrimac Trail, Williamsburg, VA .....	11
4. Child & Adolescent Services, 921 Capitol Landing Road, Williamsburg, VA .....	13
5. People's Place, 111 Warwick Court, Williamsburg, VA .....	15
6. York-Poquoson, 3804 George Washington Memorial Highway, Yorktown, VA .....	17
7. Executive Administration & Human Resources, 473 McLaws Circle, Williamsburg, VA .....	19
8. Old Towne Medical & Dental Center, 5249 Olde Towne Road, Williamsburg, VA .....	21
Appendix A - Property Condition Survey .....	23
Appendix B - Outpatient Services Consolidated Facility Program Analysis .....	69
Appendix C - York-Poquoson Facility Program Analysis .....	92
Appendix D - Day Programs Facility Program Analysis .....	95

## Introduction

The purpose of this study is to evaluate the existing Colonial Behavioral Health facilities, and to create a comprehensive space allocation/re-allocation plan that addresses current building space requirements and projected future needs. The intent is to determine a “best course of action” for making needed changes to the physical facilities that will both improve current operations and provide facilities that will support the needs of the organization for the next 25 years.

More specifically, this Report:

1. Includes physical condition assessments for each department’s existing facilities, and evaluates the existing facilities’ ability to address current and future service and requirements.
2. Includes needs assessments for all departments, considering “space use, space attributes, and space adjacencies”. Assessments included facility tours, staff and leadership interviews, and industry standards for each department, and the effort resulted in a space program to accommodate each department’s needs.
3. Provides general recommendations for change, modifications, and design considerations for the expansion and/or replacement of existing facilities based upon cost effectiveness, ability to meet current and future service delivery demands, and impact of implementation on department operations.

The design team of GuernseyTingle and Currin Design was given the following direction and parameters within which to make their evaluations:

1. Ensure equity in space for departments based on space standards.
2. Ensure quality clinical, common, and work/office spaces for patients/consumers and employees.
3. Consider need for departmental adjacencies.
4. Consider consolidation of most existing services into a new campus
5. Consider whether reconfigurations/renovations of some existing spaces are prudent.

# Colonial Behavioral Health Space Needs Analysis - 2024

Finally, In order to arrive at the recommendations proposed in this study, we took the following steps:

1. Evaluated the condition of the existing physical facilities and associated systems.
2. Interviewed staff and leadership where we developed a baseline departmental program document. This information provided a foundation for a programming meeting that we conducted with each department to discuss needs and operations in great detail. We also evaluated existing department operations to determine operational shortcomings, and then developed a Facility Program Analysis for consolidated facilities using all of this input, which was then further refined in subsequent follow-up meetings.
3. Using these program documents, the team developed and, with the assistance of each department, refined conceptual solutions/recommendations that would satisfy program requirements and future organization growth and services.

In the following pages, we have summarized our overall findings, then looked at each of the facilities and departments individually. Each of these sections includes description of existing conditions and recommendations. Finally, we have included appendices containing our Property Conditions Survey and Facility Program Analysis.

## Executive Summary

What follows is a high level summary of the findings and recommendations of this study. The sections that follow this Executive Summary provide a more in-depth discussion and backup data supporting what has led the team to the conclusions presented here.

### Site Conditions

Existing sites for all 8 facilities are in fair conditions with sustainable and maintenance work needed. All the sites are very limited in the ability to expand into adjacent site area. Most of the existing sites do not have access to outdoor therapy spaces as well. Existing parking is mostly adequate but not able to accommodate future growth.

### Building Conditions

Most of the existing buildings are now older than 40 years, and while generally well built, building systems are aging, with many systems in need of replacement. Growth in operational requirements and changes in equipment and technology have rendered significant aspects of the existing buildings and infrastructure obsolete and are impacting the ability of each department to meet current and future requirements. While each department is to be commended for creatively working within existing constraints, it is clear that existing facilities are in need of significant upgrades.

### Program Requirements

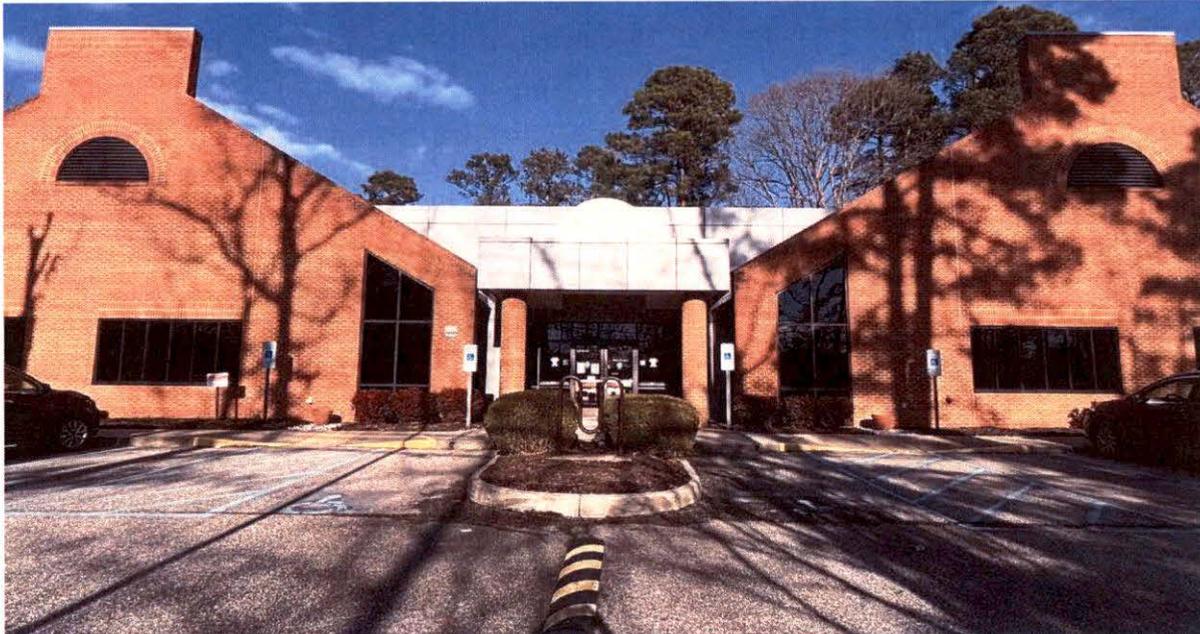
All departments are significantly undersized for current and future operational needs, and have been operating under constraints and finding creative ways to accommodate current requirements. As part of the space needs analysis a comparison of current spaces and industry standards has been evaluated and this is reflected in the Facility Program Analysis. Overall the organization is operating in undersized and inefficient spaces fro current needs.

### Assessment and Recommendation

It is our recommendation that Colonial Behavioral Health get three new consolidated facilities, an Outpatient Services Building, a Day Services Building, and a new York-Poquoson Building. These new facilities will allow current Colonial Behavioral Health Services to be rightsized and prepared for future growth in new consolidated facilities. This recommendation is based on the current and future needs of the services being provided in the buildings as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meets current industry standards and improve efficiencies throughout the facilities.

## Space Needs Analysis

## Merrimac Campus Building 1, 1651 Merrimac Trail, Williamsburg, VA



### Existing Conditions

Merrimac Campus Building 1 is a one-story, approximately 11,400 SF office and behavioral health treatment facility that was constructed in 2005. It is in generally fair condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

Building 1 is part of a fully developed piece of property approximately 2.5 acres. It is a relatively flat site that is populated with three buildings and their supporting walkways, drives, and parking. The concrete and asphalt is in fair condition and in need of repair and maintenance. The building landscaping adjacent to the building is in need of rework to ensure proper drainage away from the building. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of Building 1 primarily consists brick walls on the front and partial sides, CMU walls on the rear, fiber cement siding walls on the remainder of the sides, fixed aluminum windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively good condition and not in need of any repairs.

## Building Interior

The interior of Building 1 is generally in good physical condition. The fit and finishes are a bit dated but not inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards. Programmatically Building 1 houses the Genoa Pharmacy partner for Colonial Behavioral Health, Adult Outpatient Mental Health Services, Emergency Services, and Adult Medical Services. Overall the building is undersized and inefficient to house all of these services with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

Building 1 MEP and Fire Protection equipment is all functional and within their projected useful life expectancy.

## Assessment and Recommendation

Building 1 is in generally good condition functionally and is currently meeting the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized, however, functional. It is our recommendation that the current occupants collocate with additional Colonial Behavioral Health Services in a new consolidated facility. This recommendation is based on the current and future needs of the services being provided in the building as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meet current industry standards and improve efficiencies throughout the facility.

## Merrimac Campus Building 2, 1657 Merrimac Trail, Williamsburg, VA



### Existing Conditions

Merrimac Campus Building 2 is a one-story with a built out attic space, approximately 7,000 SF office and behavioral health treatment facility that was constructed in 1984. It is in generally fair to poor condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

Building 2 is part of a fully developed piece of property approximately 2.5 acres. It is a relatively flat site that is populated with three buildings and their supporting walkways, drives, and parking. The concrete and asphalt is in fair condition and in need of repair and maintenance. The building landscaping adjacent to the building is in need of rework to ensure proper drainage away from the building. Possible water intrusion and damage to the siding due to this condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of Building 2 primarily consists brick walls on the front and rear, wood panel and plank siding walls on the sides, fixed wood framed windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively fair condition with some areas that need repairs and/or replacement. The windows on the southeast side of the building are severely deteriorated and are in need of replacement. Additionally the siding on the southeast side of the building is in need of repairs where it is in contact with the ground.

## Building Interior

The interior of Building 2 is generally in fair physical condition, however, functionally it is poor. The fit, finishes, and layout are dated and are inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards. Programmatically Building 2 houses General Services, Fiscal, Information Services, Quality Management and Compliance, Permanent Supportive Housing, and ACT. Overall the building needs to be updated, is undersized, and inefficient to house all of these services with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

Building 2 MEP equipment is all functional and within their projected useful life expectancy, however some equipment is nearing the end of their expected useful life. The building does not have a fire sprinkler system, however the fire extinguishers and emergency lighting and exit signs are current.

## Assessment and Recommendation

Building 2 is in generally poor condition functionally and unable to meet the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized and inefficient. It is our recommendation that the current occupants collocate with additional Colonial Behavioral Health Services in a new consolidated facility. This recommendation is based on the current and future needs of the services being provided in the building as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meet current industry standards and improve efficiencies throughout the facility.

## Merrimac Campus Building 3, 1659 Merrimac Trail, Williamsburg, VA



### Existing Conditions

Merrimac Campus Building 3 is a two-story, approximately 11,300 SF office and day services facility that was constructed in 1982. It is in generally fair to poor condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

Building 3 is part of a fully developed piece of property approximately 2.5 acres. It is a relatively flat site that is populated with three buildings and their supporting walkways, drives, and parking. The concrete and asphalt is in fair condition and in need of repair and maintenance. The building landscaping adjacent to the building is in need of rework to ensure proper drainage away from the building. Possible water intrusion and damage to the siding due to this condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of Building 3 primarily consists brick walls on the front and rear, wood panel and plank siding walls on the sides, fixed wood framed windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively fair condition with some areas that need repairs and/or replacement. The windows on the southeast side of the building are severely deteriorated and are in need of replacement. Additionally the siding on the both sides of the building is in need of repairs where it is in contact with the ground.

## Building Interior

The interior of Building 3 is generally in fair physical condition however, functionally it is poor. The fit, finishes, and layout are dated and are inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards. Programmatically Building 3 houses Developmental Disabilities Day Services (Opportunities Unlimited), Mental Health Case Managers, Developmental Disabilities Case Managers, Residential Services, and Fleet Services. Overall the building needs to be updated, is undersized, and inefficient to house all of these services with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

Building 3 MEP equipment is all functional and within their projected useful life expectancy, however some equipment is nearing the end of their expected useful life. The building has a partial fire sprinkler system and fire alarm system on the east side of the building, the fire extinguishers and emergency lighting and exit signs throughout are current.

## Assessment and Recommendation

Building 3 is in generally poor condition functionally and unable to meet the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized and inefficient. It is our recommendation that the current occupants, aside from Day Services, collocate with additional Colonial Behavioral Health Services in a new consolidated facility. This recommendation is based on the current and future needs of the services being provided in the building as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meet current industry standards and improve efficiencies throughout the facility. It is our recommendation that Opportunities Unlimited collocates with People's Place into a consolidated Day Services facility. Similarly to a consolidated Outpatient Services facility, a Day Services facility will benefit from a facility that will provide functional spaces that meet current industry standards and improve efficiencies throughout.

## Child & Adolescent Services, 921 Capitol Landing Road, Williamsburg, VA



### Existing Conditions

The Child & Adolescent Services building is a one-story, approximately 5,500 SF office and behavioral health treatment facility that was constructed in 2007. It is in generally good condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

The Child & Adolescent Services building is on a fully developed piece of property approximately 1 acre. It is a relatively flat site that is populated with two buildings and their supporting walkways, drives, and shared parking. The second building on the site is not a Colonial Behavioral Health owned building. The parking is a shared lot under a owner's association. The concrete and asphalt is in good to fair condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of the Child & Adolescent Services building primarily consists brick walls, double hung wood framed windows, residential style metal panel doors, and an architectural asphalt shingled roof. The exterior building components are in relatively good condition and not in need of any repairs.

## Building Interior

The interior of the Child & Adolescent Services building is generally in good physical condition. The fit and finishes are a bit dated but not inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards. Programmatically the Child & Adolescent Services building houses the Child Services, Development and Communications, and Prevention. Overall the building is undersized and inefficient to house all of these services with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

The Child & Adolescent Services building's MEP and Fire Protection equipment is all functional and within their projected useful life expectancy. The building does not have a fire sprinkler system.

## Assessment and Recommendation

The Child & Adolescent Services building is in generally good condition functionally and is currently meeting the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized, however, functional. It is our recommendation that the current occupants collocate with additional Colonial Behavioral Health Services in a new consolidated facility. This recommendation is based on the current and future needs of the services being provided in the building as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meet current industry standards and improve efficiencies throughout the facility.

## People's Place,

111 Warwick Court, Williamsburg, VA



### Existing Conditions

The People's Place building is a one-story, approximately 5,000 SF office and day services facility that was constructed in 1994. It is in generally fair condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

The People's Place building is on a fully developed piece of property approximately 1 acre. It is a relatively flat site that is populated with the building and its supporting walkways, drives, and parking. The concrete and asphalt is in good to fair condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of the People's Place building primarily consists brick walls on the front and rear and wood clapboard siding on the sides, fixed aluminum framed windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively fair condition with some areas that need repairs and/or replacement. The siding on the both sides of the building is in poor condition and in need of repairs or replacement where it is in contact with the ground.

## Building Interior

The interior of the Peoples Place building is generally in fair physical and functional condition. The fit, finishes, and layout are dated and are inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards. Programmatically the People's Place building houses the Mental Health Day Services (People's Place). Overall the building is undersized and inefficient to house this service with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

The People's Place building's MEP equipment is all functional and within their projected useful life expectancy, except for 1 HVAC unit that has exceeded the end of its expected useful life. The building does not have a fire sprinkler system, however the fire extinguishers and emergency lighting and exit signs are current.

## Assessment and Recommendation

The People's Place building is in generally fair to poor condition functionally and is currently meeting the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized, however, functional. It is our recommendation that People's Place collocates with Opportunities Unlimited into a consolidated Day Services facility. Similarly to a consolidated Outpatient Services facility, a Day Services facility will benefit from a facility that will provide functional spaces that meet current industry standards and improve efficiencies throughout.

## York-Poquoson,

3804 George Washington Memorial Highway, Yorktown, VA



### Existing Conditions

The York-Poquoson building is a one-story, approximately 4,200 SF office and behavioral health treatment facility that was constructed in 1982. It is in generally fair to poor condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance. This is a Colonial Behavioral Health owned facility and a Property Conditions Survey was completed as part of this analysis, it is attached as Appendix A.

### Site

The York-Poquoson building is on a fully developed piece of property approximately 1 acre. It is a relatively flat site that is populated with the building and its supporting walkways, drives, and parking. The building shares a large parking lot with an adjacent building not owned by Colonial Behavioral Health. The site slopes towards the rear of the building with relatively poor drainage adjacent to the building causing damage and water intrusion into the building. The concrete and asphalt is in fair condition and in need of repair and maintenance. The building landscaping adjacent to the building is in need of rework to ensure proper drainage away from the building. Possible water intrusion and damage to the siding due to this condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces in its current configuration.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of the York-Poquoson building primarily consists fiber cement siding, fixed aluminum framed windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively fair condition with some areas that need repairs and/or replacement. The siding on the northeast of the building is in poor condition and in need of repairs or replacement where it is in contact with the ground.

## Building Interior

The interior of the York-Poquoson building is generally in fair physical and poor functional condition. The fit, finishes, and layout are dated and are inadequate for the current functional use. Room sizes are functional however they are smaller than industry standards and the quantity is inadequate for the services being provided. Programmatically the York-Poquoson building houses all the behavioral health services provided by Colonial Behavioral Health. Overall the building is undersized and inefficient to house this service with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

The York-Poquoson building's MEP equipment is all functional and within their projected useful life expectancy, however some equipment is nearing the end of their expected useful life. The building does not have a fire sprinkler system, however the fire extinguishers and emergency lighting and exit signs are current.

## Assessment and Recommendation

The York-Poquoson building is in generally fair to poor condition functionally and is currently meeting the needs of the current occupants. The interior finishes are dated and in need of an update and the spaces are undersized, however, functional. It is our recommendation that York-Poquoson building be replaced with a new facility that is right sized for the services being provided. The current location is ideal for services being provided. The adjacent vacant site appears to be an option for a new facility if combined with the current building site.

## Executive Administration & Human Resources, 473 McLaws Circle, Williamsburg, VA



### Existing Conditions

The Executive Administration & Human Resources building is a one-story, approximately 4,200 SF office facility that was constructed in 1998. It is in generally fair condition. This is not a Colonial Behavioral Health owned facility and a Property Conditions Survey was not completed as part of this analysis.

### Site

The Executive Administration & Human Resources building is on a fully developed piece of property approximately 3 acres. It is a relatively flat site that is populated with the building and its supporting walkways, drives, and parking. The building shares a large parking lot with an adjacent buildings. The concrete and asphalt is in fair condition. The site does not allow for any future expansion of the buildings, parking, nor outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of the Executive Administration & Human Resources building primarily consists brick and fiber cement siding, fixed aluminum framed windows, residential metal panel doors, and an architectural asphalt shingled roof. The exterior building components are in relatively fair condition with some areas that need repairs and/or replacement.

## Building Interior

The interior of the Executive Administration & Human Resources building is generally in fair physical and functional condition. The fit, finishes, and layout are dated and are inadequate for the current functional use. Room sizes are functional however the quantity is inadequate for the services being provided. Programmatically the Executive Administration & Human Resources building houses the Executive Administration & Human Resources services for Colonial Behavioral Health. Overall the building is undersized and inefficient to house this service with the current and projected case loads.

## Mechanical, Electrical, and Plumbing Systems

The Executive Administration & Human Resources building's MEP equipment functionality was not evaluated as part of this assessment.

## Assessment and Recommendation

The Executive Administration & Human Resources building is in generally fair condition functionally and is currently meeting the needs of the current occupants. The interior finishes are dated and in need of an update and additional space is required. It is our recommendation that the current occupants collocate with additional Colonial Behavioral Health Services in a new consolidated facility. This recommendation is based on the current and future needs of the services being provided in the building as well as the goal to provide integrated medical care for the patients being served. An integrated and consolidated facility will provide functional spaces that meet current industry standards and improve efficiencies throughout the facility.

## Old Towne Medical & Dental Center, 5249 Olde Towne Road, Williamsburg, VA



### Existing Conditions

The Old Towne Medical & Dental Center building is a one-story, approximately 29,500 SF office and medical office building that was constructed in 1985. It is in generally good condition. This is not a Colonial Behavioral Health owned facility and a Property Conditions Survey was not completed as part of this analysis.

### Site

The Old Towne Medical & Dental Center building is on a fully developed piece of property approximately 5.5 acres. It is a relatively flat site that is populated with the building and its supporting walkways, drives, and parking. The concrete and asphalt is in good condition. The site does not allow for any future expansion of the buildings, parking, but does have potential for outdoor therapy spaces.

# Colonial Behavioral Health Space Needs Analysis - 2024

## Building Exterior

The exterior of the Old Towne Medical & Dental Center building primarily consists brick walls, fixed aluminum framed windows, aluminum storefront doors, and an architectural asphalt shingled roof. The exterior building components are in relatively good condition.

## Building Interior

The interior of the Old Towne Medical & Dental Center building is generally in fair physical and poor functional condition. The fit, finishes, and layout are dated and are inadequate for the current functional use or any repurposed use. Programmatically the Old Towne Medical & Dental Center building houses the Old Towne Medical & Dental Clinics and James City County Social Services.

## Mechanical, Electrical, and Plumbing Systems

The Old Towne Medical & Dental Center building's MEP equipment functionality was not evaluated as part of this assessment.

## Assessment and Recommendation

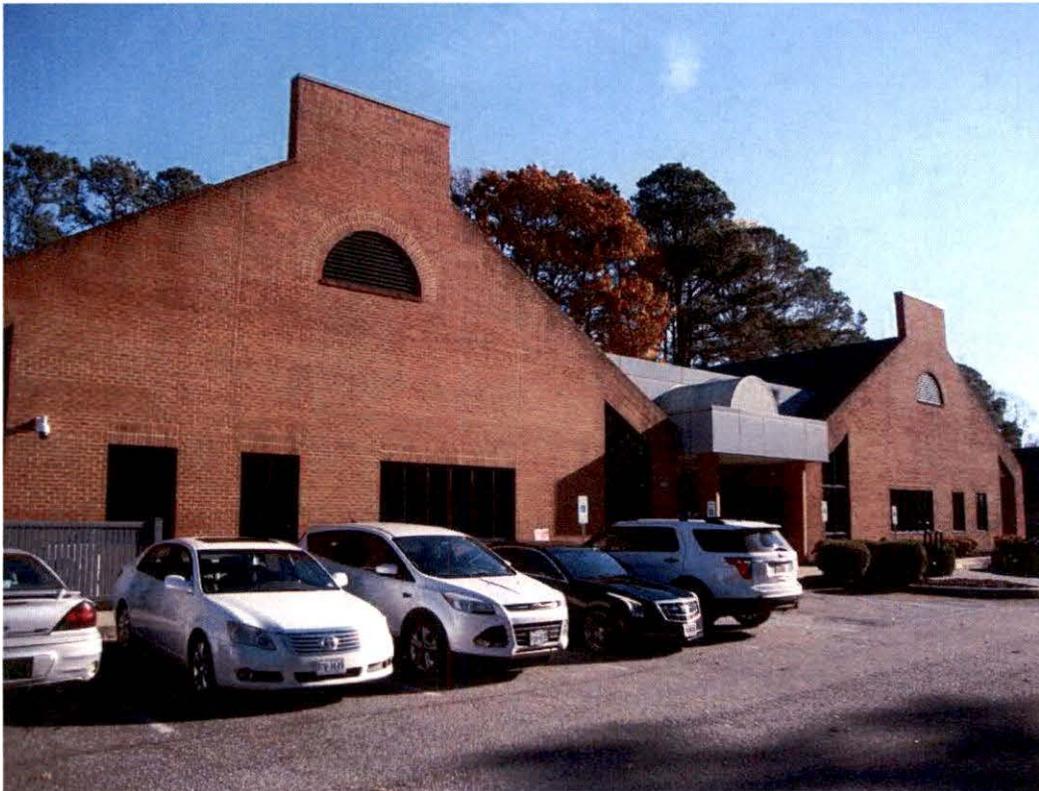
The Old Towne Medical & Dental Center building could be a viable solution for the new Colonial Behavioral Health Day Services Building. If the building was available it is adequately sized and the site layout would work well for this facility. The interior of the facility would need an extensive renovation to house these services functionally. This is an option worth exploring in further detail if available and is desired.

## Appendix A - Property Condition Survey

# PROPERTY CONDITION SURVEY

1651-1659 Merrimac Trail,  
921 Capitol Landing Road,  
111 Warwick Court, Williamsburg Virginia  
3804 George Washington Memorial Hwy, Yorktown, Virginia

January 22, 2024



4350 New Town Ave, Suite 203  
Williamsburg, VA 23188  
757-564-4434

720 Thimble Shoals Blvd  
Newport News, VA 23606  
757-873-8858

**TAM**  
CONSULTANTS  
A Terracon COMPANY

Prepared for: Guernsey Tingle Architects  
TAM Project No. MB236276-GTA

## **Table of Contents**

1. Executive Summary
2. Purpose and Scope
3. Systems Description and Observations
  - 3.1 General Overall Description
  - 3.2 Site Elements
    - 3.2.1 Topography and Drainage
    - 3.2.2 Paving, Curbing, Parking and Flatwork
    - 3.2.3 Landscaping and Appurtenances
    - 3.2.4 Utilities
    - 3.2.5 Site Lighting
  - 3.3 Structural Frame and Building Enclosure
    - 3.3.1 Foundation and Building Frame
    - 3.3.2 Window and Door Systems
    - 3.3.3 Roofing
  - 3.4 Architectural Elements
    - 3.4.1 Entrance Foyer/Vestibules
    - 3.4.2 Office and Conference and Storage Spaces
    - 3.4.3 Restrooms
  - 3.5 Mechanical, Plumbing and Electrical Systems
    - 3.5.1 Heating, Ventilation and Air Conditioning Systems
    - 3.5.2 Plumbing Systems
    - 3.5.3 Fire Protection Systems
    - 3.5.4 Electrical Systems
4. Disclaimers & Qualifications
5. Photos

## 1. EXECUTIVE SUMMARY

We found the facilities and systems to be in generally serviceable condition with several repairs required at this time due mainly to deferred maintenance and repair items that have been postponed. Finishes are in good to fair condition for the most part.

## 2. PURPOSE AND SCOPE

The purpose of this baseline Property Condition Assessment (PCA) is to provide a general assessment of the condition of the property.

During the course of this PCA, we completed site visits and conducted walk-throughs of both the interior and exterior of the buildings checking for evidence of major distress and significant deficiencies. During our site visit, we observed various portions of the facility by conducting the following activities:

- We walked the exterior of the buildings reviewing various building components from the ground and roofs.
- We walked the readily accessible interior portions of the buildings including occupied spaces and attic spaces.
- We walked and observed the improved portions of the site.
- We performed a limited review of provided documentation associated with the listing of the property.
- We collected a number of photographs of various building components, areas, and deficiencies; some of which are included in this report.

## 3. SYSTEMS DESCRIPTION AND OBSERVATIONS

### 3.1. GENERAL OVERALL DESCRIPTION

The subject property consists of multiple structures constructed at different times. The buildings being surveyed are currently occupied and consist mostly of office spaces and activity rooms. The buildings are located at various addresses as listed below.

**1651 Merrimac Trail:** The building is a one-story, approximately 11,426 sq. ft. office-use facility constructed in 2005 which is in generally fair condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance.

**1657 Merrimac Trail:** The building is a one-story, approximately 7,008 sq. ft. office-use facility constructed in 1980 which is in generally fair condition with several items requiring maintenance repair or replacement at this time, due to age and deferred maintenance.

**1659 Merrimac Trail:** The building is a two-story, approximately 11,300 sq. ft. office-use facility constructed in 1982 which is in generally fair condition with several items requiring maintenance repair or replacement due to age and deferred maintenance.

**921 Capitol Landing Rd.:** The building is a one-story, approximately 5,460 sq. ft. office-use facility constructed in 1982 which is in generally good condition with several items requiring maintenance repair or replacement due to age and deferred maintenance.

**111 Warwick Ct.:** The building is a one-story, approximately 5,040 sq. ft. office-use facility constructed in 1994 which is in generally fair condition with several items requiring maintenance repair or replacement due to age and deferred maintenance.

**3804 George Washington Memorial Hwy:** The building is a one-story, approximately 4,136 sq. ft. office-use facility constructed in 1982 which is in generally fair condition with several items requiring maintenance repair or replacement due to age and deferred maintenance.

### 3.2. SITE ELEMENTS

#### 3.2.1. TOPOGRAPHY AND DRAINAGE

**1651, 1657 and 1659 Merrimac Trail:** The site is fully developed on three parcels totaling approximately 2.5-acres. The site is generally flat and slopes gently to the south and drains to a drop inlets at the northwest parking lot and along the driveway in front of the buildings. There are several curb inlets along the parking spaces in front of the buildings. Both drop inlets and curb inlets collect stormwater. An open basin between 1651 and 1657 Merrimac Trail also collects stormwater at the site. This drainage system passes the stormwater through underground pipe to the municipal system. It was reported that the roots from the trees behind the buildings are penetrating and blocking the French drains. There are numerous areas around the buildings with raised mulch fields in contact with the siding which is causing damage to the siding and possible water infiltration to 1657 and 1659 Merrimac Trail. Consideration should be given to further evaluation and possibly improving drainage by regrading (sloping away from the buildings), tree removal, and adding additional drainage systems around the buildings.

**921 Capitol Landing Rd.:** The site is fully developed on one approximately 1-acre parcel. The site is generally flat and slopes gently to the parking lot at the north side of the building with surface drainage onto Maynard Drive. There is also a curb inlet at the parking lot to prevent standing water in a lower area. An open basin in the field across Maynard Street is an offsite holding area for the storm water. The drainage at the site appears to be adequate.

**111 Warwick Court:** The site is fully developed on one approximately 1-acre parcel. The site is generally flat and slopes gently toward the northeast side of the

property with surface drainage onto Warwick Street. A large pond at the east side of the development provides an offsite holding area for the storm water. The drainage at the site appears to be fair to poor.

**3804 George Washington Memorial Hwy:** The site is fully developed on one approximately 1-acre parcel. The site is generally flat and slopes gently toward the south side of the property with surface drainage onto the large, shared parking lot. The grading at the rear of the building is relatively flat with a hill beyond sloping toward the building. Ideally a drainage ditch would protect from water infiltration at the rear of the building. The drainage at the site is poor at the rear of the building with a drain that was partially blocked with leaves at the time of the site visit. Consideration should be given to further evaluation and possibly improving drainage by regrading (sloping away from the building) and adding a ditch or additional drainage systems at the rear of the building.

### 3.2.2 PAVING, CURBING, PARKING, AND FLATWORK

**1651, 1657 and 1659 Merrimac Trail:** The buildings are serviced with shared parking lots consisting of asphalt paving with poured-in-place concrete curbs and gutter and adjacent sidewalks along the front portion of the site with pre-cast concrete wheel stops at locations without curbs.

In general, the asphalt parking is in poor to fair condition with some cracking. Seal coating has been recently applied but the degradation of the asphalt is likely too advanced for the sealcoating to be effective. It is recommended that portions of the parking lot have milling, crack seal, sealcoating done before alligator cracking starts.

The parking lot has approximately 130 car parking spaces in four areas around the buildings. The areas include 8 ADA designated parking spaces.

Flatwork appears to be in generally serviceable condition. However, the sidewalk in front of the buildings was noted to have portions of sidewalks cracked and lifted creating a trip hazard. We recommend repairs to these locations.

**921 Capitol Landing Rd.:** The building is serviced with a shared parking lot consisting of asphalt paving with poured-in-place concrete curb and gutter and adjacent sidewalks along the front portion of the site.

In general, the asphalt parking is in fair condition with some cracking. It is recommended that the parking lot have crack seal, sealcoating done before more cracks develop.

The parking lot has approximately 70 shared car parking spaces in a shared parking lot. The areas include 4 ADA designated parking spaces.

Flatwork appears to be in generally serviceable condition.

**111 Warwick Court:** The building is serviced with a small parking lot located at the south end of the parcel consisting of asphalt paving with poured-in-place concrete curb and sidewalks along the front and side of the building.

In general, the asphalt parking is in fair condition with some cracking. It is recommended that the parking lot be milled and resurfaced in the next 5-10 years before alligator cracking develops. There is a small area of alligator cracking at the end of the dumpster pad probably due to the weight of the trash truck.

The parking lot has approximately 15 car parking spaces. The areas include 1 ADA designated parking space.

Flatwork appears to be in generally serviceable condition.

**3804 George Washington Memorial Hwy:** The building is serviced with a shared parking lot consisting of asphalt paving with poured-in-place concrete curb and gutter and a sidewalk along the front of the building.

In general, the asphalt parking is in fair condition with some cracking. It is recommended that the parking lot have crack seal, sealcoating done on a regular basis to prevent cracks from developing.

The parking lot has approximately 33 car parking spaces in the portion in front of the building being part of a larger shared parking lot. The parking lot includes 4 ADA designated parking spaces near the front of the building.

Flatwork appears to be in generally serviceable condition.

### 3.2.3 LANDSCAPING AND APPURTENANCES

**1651, 1657 and 1659 Merrimac Trail:** Landscaping generally includes a number of large mature trees at the rear of the buildings, smaller shrubs along the sides and front and grassy lawns. In general, landscaping throughout needs regrading to slope away from the buildings. The larger tree roots are impacting sidewalks and potentially the foundation of the buildings. Raised mulch beds along the 1657 and 1659 buildings is above the siding causing degradation of the wood.

The property features an approximately 4'x 9' lighted signage at the southeast entrance of the parcel facing onto Merrimack Trail. It was undetermined if the sign lighting is operating.

**921 Capitol Landing Rd.:** Landscaping generally includes a number of mature trees along the main road and at the north side and northwest corner of the building, smaller shrubs along the perimeter of the building and grassy lawns. In general, grading around the building is relatively flat and has potential for standing water issues. This could be problematic since the building has a crawl space under the building.

The property features signage mounted to the northwest corner of the building.

**111 Warwick Court:** Landscaping generally includes a number of mature trees around the building, smaller shrubs along the perimeter of the building and grassy lawns. In general, grading around the building is relatively flat and has potential for standing water issues.

The property features an approximately 4' x 9' lighted signage at the main driveway entrance. It was undetermined if the sign lighting is operating.

**3804 George Washington Memorial Hwy:** Landscaping generally includes a number of mature trees at the rear of the building, smaller shrubs along the sides and front and grassy areas. In general, landscaping throughout needs regrading to slope away from the building. Mulch along the building in some places is in contact with the siding.

The property features an approximately 4' x 9' lighted signage at the southwest corner of the building. It was undetermined if the sign lighting is operating.

### 3.2.4 UTILITIES

Utilities are provided via underground means and include water, natural gas, sewer, power, and telephone. A 22-kW propane-fired Guardian Series generator by Generac was observed behind the 1657 Merrimac Trail building. No data label was noted on this generator nor was it practical to cycle this unit on.

### 3.2.5 SITE LIGHTING

**1651, 1657 and 1659 Merrimac Trail:** Site lighting appears to be minimal, including: HID wall packs on the buildings and pole-mounted HID shoe box and pole-mounted LED fixtures were observed in the parking areas.

**921 Capitol Landing Rd.:** Site lighting appears to be minimal, including: Sconce mounted by the door at the rear entrance, soffit lighting at the main entrance and pole-mounted HID shoe box fixtures were observed in the parking lot.

**111 Warwick Court:** Site lighting appears to be minimal, including: Bollard with lights along the sidewalk and several pole-mounted LED fixtures were observed in the parking areas.

**3804 George Washington Memorial Hwy:** Site lighting appears to be minimal, including: HID wall packs mounted to the building and several pole-mounted LED fixtures were observed in the parking areas.

### 3.3 STRUCTURAL FRAME AND BUILDING ENVELOPE

#### 3.3.1 FOUNDATION, BUILDING FRAME, WALLS, AND ROOF STRUCTURE

**1651 Merrimac Trail:** The buildings floor is a concrete slab on-grade with we assume turned down concrete perimeter footing or poured-in-place concrete footing and CMU supporting exterior metal frame walls, supporting long-spanning structural steel ceiling and rafter members spanning side to side, with plywood roof decking.

The exterior cladding includes a brick on block front and partial sides, CMU rear, and fiber cement plank on the remainder of the sides. The fiber cement plank is generally in serviceable condition. In general, the siding is clean with minor areas that require cleaning due to splash from the mulch.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

**1657 Merrimac Trail:** The buildings first-floor is concrete slab on-grade with we assume turned down concrete perimeter footing or poured-in-place concrete footing. The perimeter of the slab supports exterior CMU and wood frame walls which in turn support long-spanning pre-engineered wood trusses spanning side to side. The trusses are sheathed with plywood roof decking.

The exterior cladding includes a brick on block front and rear and wood panel and planking on the sides. The wood panel and planking is generally in fair and serviceable condition, however due to the siding being in contact with the above grade mulch in the beds on the southeast side of the building severe degradation of the wood siding can be anticipated. It is recommended to adjust the level of mulch to be several inches below the siding and regrade around the building to provide drainage away from the building.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

**1659 Merrimac Trail:** The buildings first-floor is a concrete slab on-grade with we assume turned down concrete perimeter footing or poured-in-place concrete footing. The perimeter of the slab supports exterior CMU and wood frame walls

which in turn support long-spanning pre-engineered wood truss joists which in turn support roof rafters spanning side to side. The rafters are sheathed with plywood roof decking.

The exterior cladding includes a brick on block front and rear and wood panel and planking on the sides. The wood panel and planking is generally in poor condition due to deferred maintenance and contact with mulch above grade in the beds on the sides of the building. It is being recommended adjust the level of the mulch to prevent it from contacting the siding and to regrade around the building to provide drainage away from the building.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

**921 Capitol Landing Rd.:** The buildings first-floor is wood I-joist supported by what we presume to be CMU block walls with concrete footing over a crawl-space under the building. The 1<sup>st</sup> floor wood deck supports wood framed walls which in turn support long-spanning pre-engineered wood trusses spanning front to back. The trusses are sheathed with plywood roof decking. Some cracking in the wall and ceiling was observed due to some minor wood frame movement and floor deflection.

The exterior cladding includes a brick over wood framed and sheathed walls with a presumed weather barrier. The brick is in good and serviceable condition.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

**111 Warwick Court:** The buildings first-floor is concrete slab on-grade with we assume turned down concrete perimeter footing or poured-in-place concrete footing. The perimeter of the slab supports exterior CMU and wood frame walls which in turn support wood trusses spanning side to side. The trusses are sheathed with plywood roof decking.

The exterior cladding includes a brick on block front and rear and wood clapboard siding on the sides. The wood clapboard siding is generally in poor condition due to deferred maintenance. Sections of siding are in contact with the mulch which will eventually cause severe deterioration of the wood and possible water infiltration. It is recommended to adjust the mulch level to be below the siding and regrade around the building to provide drainage away from the building.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

**3804 George Washington Memorial Hwy:** The building is a concrete slab on-grade with we assume turned down concrete perimeter footing or poured-in-place

concrete footing. The perimeter of the slab supports exterior wood framed walls which in turn support wood trusses spanning front to back. The trusses are presumed to be sheathed with plywood roof decking.

The exterior cladding is fiber cement plank. The fiber cement plank siding is generally in serviceable condition. The siding in contact with the ground at the northeast corner of the building which will eventually cause deterioration of the siding and possible water infiltration. It is recommended to regrade around the building to create swales or install drains to channel water away from the foundation of the building.

Exterior trim and soffit materials include aluminum trim and soffit panels which are in fair and serviceable condition.

### 3.3.2 WINDOW AND DOOR SYSTEMS

**1651 Merrimac Trail:** The building is fitted with fixed thermal pane aluminum frame window units throughout which appear to be in serviceable condition. Entry doors consists of aluminum store front type entry doors and they appear to be in fair and serviceable condition.

**1657 Merrimac Trail:** The building is fitted with fixed thermal pane wood frame window units throughout which appear to be in poor condition with the ones on the southeast side being severely deteriorated. A cost has been included in the reserve tables to replace the windows. Entry doors consists of aluminum store front type entry doors, and they appear to be in fair and serviceable condition.

**1659 Merrimac Trail:** The building is fitted with fixed thermal pane wood frame window units throughout which appear to be in serviceable condition on all sides except the southeast side of the building. The frames of the windows on the southeast side of the building are severely deteriorated and should be replaced. Entry doors consists of aluminum store front type entry doors, and they appear to be in fair and serviceable condition.

**921 Capitol Landing Rd.:** The building is fitted with double hung thermal pane wood frame window units throughout which appear to be in serviceable condition. Entry doors consists of residential style metal panel entry doors, and they appear to be in fair and serviceable condition.

**111 Warwick Court:** The building is fitted with fixed thermal pane aluminum frame window units throughout which appear to be in serviceable condition. Entry doors consists of aluminum store front type entry doors, and they appear to be in fair and serviceable condition.

**3804 George Washington Memorial Hwy:** The building is fitted with fixed thermal pane aluminum frame window units throughout which appear to be in

serviceable condition. Entry doors consists of aluminum store front type entry doors, and they appear to be in fair and serviceable condition.

### 3.3.3 ROOFING

**1651, 1657 and 1659 Merrimac Trail:** The roofing system consists of architectural asphalt shingles nailed down onto the roof sheathing. These shingles appear to have been installed in 2005 when the 1651 building was constructed. In general, the roofing systems are in fair condition. Evidence of shingle replacement on building 1657 was observed possibly from reported tree damage. The low sloped section of 1651 and 1659 buildings consist of EPDM membranes and appear to be in good to fair condition. The expected useful life of the architectural roof shingles is 30 years.

Gutter systems appear to be in serviceable condition.

**921 Capitol Landing Rd.:** The roofing system consists of architectural asphalt shingles nailed down onto the roof sheathing. These shingles appear to have been installed in 2007 during when the building was constructed. In general, the roofing systems is in good to fair condition. The expected useful life of the architectural roof shingles is 30 years.

Gutter systems appear to be in serviceable condition.

**111 Warwick Court:** The roofing system consists of architectural asphalt shingles nailed down onto the roof sheathing. These shingles appear to have been installed circa 2005. In general, the roofing systems are in fair condition. Evidence of shingle replacement was observed possibly from reported tree damage. The expected useful life of the architectural roof shingles is 30 years.

Gutter systems appear to be in serviceable condition.

**3804 George Washington Memorial Hwy:** The roofing system consists of architectural asphalt shingles nailed down onto the roof sheathing. These shingles appear to have been installed circa 2005. In general, the roofing systems are in fair condition. The expected useful life of the architectural roof shingles is 30 years.

Gutter systems appear to be in serviceable condition.

## 3.4. ARCHITECTURAL ELEMENTS

### 3.4.1. FRONT VESTIBULE

**1651 Merrimac Trail:** The front entrance is finished with brick and painted drywall for the walls, painted drywall tray ceiling and ceramic floor tiles. All of which appears to be in fair and serviceable condition.

**1657 Merrimac Trail:** The front entrance is finished with wall papered gypsum drywall for the walls, 2'x2' lay-in acoustical ceiling tile on a pre-finished acoustical metal suspended grid and concrete floor all of which appear to be in fair and serviceable condition.

**1659 Merrimac Trail:** The front entrance is finished with painted gypsum drywall for the walls, 2'x2' lay-in acoustical ceiling tile on a pre-finished acoustical metal suspended grid and ceramic tile and concrete floor all of which appears to be in fair and serviceable condition.

**921 Capitol Landing Rd.:** The front entrance is finished with painted drywall for the walls, painted drywall ceiling and hardwood flooring all of which appears to be in fair and serviceable condition.

**111 Warwick Court:** The front entrance is finished with painted gypsum drywall for the walls, 2'x2' lay-in acoustical ceiling tile on a pre-finished acoustical metal suspended grid and carpet along with VCT flooring all of which appears to be in fair and serviceable condition.

**3804 George Washington Memorial Hwy.:** The front entrance is finished with painted gypsum drywall for the walls, 2'x2' lay-in acoustical ceiling tile on a pre-finished acoustical metal suspended grid and ceramic tile flooring all of which appears to be in fair and serviceable condition.

### 3.4.2 OFFICE, CONFERENCE ROOM and STORAGE SPACES

**1651, 1657 and 1659 Merrimac Trail:** Overall, the office spaces are finished with painted drywall walls, wall to wall low pile carpeting, 2'x4' lay-in acoustical ceiling tile on a pre-finished acoustical metal grid suspended from the roof trusses or structural supports and insulated with Kraft faced 6" thick R-19 ceiling insulation.

In general, carpeting throughout is in fair condition. Some number of ceiling tiles will need replacement.

Interior wood trim doors and hardware consists of residential grade finishes which in general are in fair and serviceable condition.

**921 Capitol Landing Rd.:** Overall, the office spaces are finished with painted drywall walls, wall to wall low pile carpeting, wood tongue and groove flooring in waiting areas, and painted drywall ceilings.

In general, carpeting throughout is in fair condition.

Interior wood trim doors and hardware consists of residential grade finishes which in general are in fair and serviceable condition.

**111 Warwick Court.:** Overall, the office spaces are finished with painted drywall walls, wall to wall low pile carpeting, and painted drywall ceilings.

In general, carpeting throughout is in fair condition.

Interior wood trim doors and hardware consists of residential grade finishes which in general are in fair and serviceable condition.

**3804 George Washington Memorial Hwy.:** Overall, the office spaces are finished with painted drywall walls, wall to wall low pile carpeting, and painted drywall ceilings.

In general, carpeting throughout is in fair condition.

Interior wood trim doors and hardware consists of residential grade finishes which in general are in fair and serviceable condition.

### 3.4.3 RESTROOMS

**1651 Merrimac Trail:** The building is fitted with six central restrooms as well as a kitchenette. The fixtures and finishes appear to be in serviceable condition.

The finishes include ceramic tile walls, 2'x4' lay-in acoustical ceiling tile and linoleum floor, which appear to be in serviceable condition.

**1657 Merrimac Trail:** The building is fitted with six central restrooms as well as a kitchenette. The fixtures and finishes, although dated, appear to be in serviceable condition.

The finishes include wallpapered gypsum drywall, 2'x4' lay-in acoustical ceiling tile and linoleum floor, which appear to be in serviceable condition.

**1659 Merrimac Trail:** The building is fitted with eight central restrooms as well as a kitchenette. The fixtures and finishes, although dated, appear to be in serviceable condition.

The finishes include wallpapered gypsum drywall, 2'x4' lay-in acoustical ceiling tile and ceramic or VCT flooring, which all appear to be in serviceable condition.

**921 Capitol Landing Rd.:** The building is fitted with six central restrooms as well as a kitchenette. The fixtures and finishes, although dated, appear to be in serviceable condition.

The finishes include wallpapered gypsum drywall, 2'x4' lay-in acoustical ceiling tile and linoleum floor, which appear to be in serviceable condition.

**111 Warwick Court:** The building is fitted with six central restrooms as well as a kitchenette. The fixtures and finishes, although dated, appear to be in serviceable condition.

The finishes include wallpapered gypsum drywall, 2'x4' lay-in acoustical ceiling tile and linoleum floor, which appear to be in serviceable condition.

**3804 George Washington Memorial Hwy:** The building is fitted with six central restrooms as well as a kitchenette. The fixtures and finishes, although dated, appear to be in serviceable condition.

The finishes include wallpapered gypsum drywall, 2'x4' lay-in acoustical ceiling tile and linoleum floor, which appear to be in serviceable condition.

### 3.5 MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS

#### 3.5.1 HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS (HVAC)

**1651 Merrimac Trail:** The building is heated and cooled with forced air from two 15-ton *Trane* commercial roof top units. Multiple VAV boxes located throughout the attic are controlled with wall mounted digital thermostats located throughout the building. Two small mini-split ductless AC units cool off server rooms. All units appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years.

Manufacturer	Model	Serial No.	Year
Trane	YSH180F3RZBOC	171410764D	2017
Trane	YSH180F3RZBOC	171410758D	2017

Panasonic	CU-S9NKUA	6852900634	2012
Mitsubishi	MUZ-HM24NA	7 003042 T	2017

**1657 Merrimac Trail:** The building is heated and cooled with 7 split-system units ranging in size from 1.5- to 3-tons. The systems are controlled with wall mounted digital thermostats dispersed throughout the building. The units all appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years. The *Armstrong Air* system appears to be at the end of its useful life, money has been put into the reserve for its replacement.

Manufacturer	Model	Serial No.	Year
Maytag	PSA4BD036KB	PSD120201015	2012
Fujitsu	F03614CSJNAA	W422013090	2020
Ducane	4AC13L36P-3A	1910G11760	2010
Maytag	PSA4BD036KB	PSD12070015	2012
Armstrong	2SHP13LE124P	1607A10653	2007
Maytag	PSA4BD036KB	PSD120700084	2012
Fujitsu	AOUH18LPAS1	10672	2010

**1659 Merrimac Trail:** The building is heated and cooled with 12 split-system units ranging in size from 1- to 5-tons. The systems are controlled with wall mounted digital thermostats dispersed throughout the building. The units all appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years. The two *Armstrong Air* systems appear to be at the end of their useful life, money has been put into the reserve for their replacement.

Manufacturer	Model	Serial No.	Year
Air Temp	VS4BE-036KA	VSG170571159	2017
Maytag	PSH4BE024KA	PSF161101016	2016
Fujitsu	F06014CSJNAC	W422013090	2021
Maytag	PSA4BE036KA	PSF150905133	2015
Armstrong Air	SCU10G60A-1	1605A12289	2005
Armstrong Air	SCU12H36A-1	1605A12289	2005
Ducane	4HP13L24P-3A	1910D00230	2010
Fujitsu	F06014RSJNAB	W241950221	2019
Fujitsu	F03614CSJNAA	W261951460	2019
Armstrong Air	SCU12E48A-1	8400M20504	2000
Maytag	FSH1BE4M1SP	PSF180501240	2018
Fujitsu	AOUH12RLFF	2575	2010

**921 Capitol Landing Rd.:** The building is heated and cooled with 4 split-systems ranging in size from 0.75- to 5-tons. The systems are controlled with wall mounted digital thermostats dispersed throughout the building. The units all appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years.

Manufacturer	Model	Serial No.	Year
Goodman	SSZ160601AC	0809546761	2009
Maytag	PSH1BE4M1SP60K	PSF180205144	2018
Fujitsu	F06015RSJNAA	W502135432	2022
Sanyo	CL0971	19193	2009

**111 Warwick Court:** The building is heated and cooled with four 4-ton split-system units. The systems are controlled with wall mounted digital thermostats dispersed throughout the building. The units all appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years. This *Rheem* unit requires R22 refrigerant which is obsolete. The *Rheem* system appears to be at the end of its useful life, money has been put into the reserve for its replacement.

Manufacturer	Model	Serial No.	Year
Fujitsu	F04814CSJNAA	W251903107	2019
Fujitsu	FOC1448SJAZNA1	Unknown	~2018
Rheem	RAKA-048JAZ	5342 M3094 0434	1994

**3804 George Washington Memorial Hwy:** The building is heated and cooled with forced air from 3 split-system units ranging in size from 3- to 5-tons. The systems are controlled with wall mounted digital thermostats dispersed throughout the building. The units all appear to be functional.

Heated and cooled air is distributed via main insulated metal trunk lines with flex supply duct throughout. Conditioned and return air is distributed via ceiling mounted registers in the lay-in ceiling grid.

It should be anticipated that the replacement of the HVAC units will be required on an as needed basis. It is anticipated that the expected useful life of these systems is approximately 15-20 years.

Manufacturer	Model	Serial No.	Year
Fujitsu	F06015RSJNAA	W211935740	2019
Bosch	BOVA-36HDN1	339A-917-001323 - 7739832068	2017
Fujitsu	F04814RSJNAA	W461913160	2019

### 3.5.2 PLUMBING SYSTEMS

**1651 Merrimac Trail:** Plumbing distribution piping appears to consist of copper supply piping with cast iron drainpipes.

A *State* brand 40-gallon electric water heater (manufactured in 2014) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years.

**1657 Merrimac Trail:** Plumbing distribution piping appears to consist of copper supply piping with PVC drainpipes.

A *Bradford White* brand 40-gallon electric water heater (manufactured in 2010) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years.

**1659 Merrimac Trail:** Plumbing distribution piping appears to consist of copper supply piping with PVC drainpipes.

A *Bradford White* brand 40-gallon electric water heater (manufactured in 2021) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years.

**921 Capitol Landing Rd.:** Plumbing distribution piping appears to consist of copper supply piping with PVC drainpipes.

A *State* brand 40-gallon electric water heater (manufactured in 2008) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years. Replacement of the water heater is anticipated in the next 1-5 years.

**111 Warwick Court:** Plumbing distribution piping appears to consist of copper supply piping with PVC drainpipes.

A *Bradford White* brand 40-gallon gas water heater (manufactured in 2017) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years.

**3804 George Washington Memorial Hwy:** Plumbing distribution piping appears to consist of copper supply piping with PVC drainpipes.

A *State* brand 40-gallon electric water heater (manufactured in 2004) was observed in the utility closet. It is anticipated that the service life of these systems is approximately 10-15 years. Replacement of the water heater is anticipated in the next 1-5 years.

### 3.5.3 FIRE PROTECTION SYSTEMS

**1651 Merrimac Trail:** The building has a sprinkler system, fire alarm control panel, horn strobes, and pull stations. The sprinkler system was inspected in September of 2023. The fire alarm system should be evaluated to consider the installation of a more up to date fire alarm control panel. We also observed hand-held fire extinguishers and emergency lighting and exit signage. The fire extinguishers were inspected in January of 2023.

**1657 Merrimac Trail:** The building is not fitted with a fire protection system. We did observe hand-held fire extinguishers, emergency lighting and exit signage. The fire extinguishers were inspected in January of 2023.

**1659 Merrimac Trail:** The east wing of the building has a sprinkler system, fire alarm control panel, horn strobes, and pull stations. The sprinkler system was

inspected in September of 2023. The fire alarm system should be evaluated to consider the installation of a more up to date fire alarm control panel. We also observed hand-held fire extinguishers, emergency lighting and exit signage in the whole building. The fire extinguishers were inspected in January of 2023.

**921 Capitol Landing Rd.:** The building does not have a sprinkler system. The building has a fire alarm control panel, horn strobes, and pull stations. We also observed hand-held fire extinguishers, emergency lighting and exit signage. The fire extinguishers were inspected in January of 2023.

**111 Warwick Court:** The building is not fitted with a fire protection system. We did observe hand-held fire extinguishers, emergency lighting and exit signage. The fire extinguishers were inspected in January of 2023. Also observed was an Ansul fire suppression system on the commercial kitchen hood which was inspected in September of 2023.

**3804 George Washington Memorial Hwy:** The building is not fitted with a fire protection system. We did observe hand-held fire extinguishers, emergency lighting and exit signage. The fire extinguishers were inspected in January of 2023.

#### 3.5.4 ELECTRICAL SYSTEMS

**1651 Merrimac Trail:** The building is equipped with one 800-amp *Square D* breaker panel and two 225-amp *Square D* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent lay-in ceiling fixtures. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

**1657 Merrimac Trail:** The building is equipped with two 200-amp *General Electric* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent lay-in ceiling fixtures and single tube surface mount fluorescent fixtures in the large activity room on the southeast wing of the building. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

**1659 Merrimac Trail:** The building is equipped with two 200-amp *Square D* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent lay-in ceiling fixtures. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

**921 Capitol Landing Rd.:** The building is equipped with two 200-amp *Siemens* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent surface mount ceiling fixtures and recessed can fixtures in random areas. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

**111 Warwick Court:** The building is equipped with two 200-amp *Square D* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent lay-in ceiling fixtures with polycarbonate lens and two bulb surface mount fluorescent fixtures in the hallway. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

**3804 George Washington Memorial Hwy:** The building is equipped with two 200-amp *Square D* breaker panels.

In general, interior electrical lighting fixtures include 2'x4' fluorescent lay-in ceiling fixtures with polycarbonate lens and track lighting in the waiting area. Electrical receptacles, switches, and covers throughout are residential grade.

The building is fitted with emergency egress lighting with battery backup as well as illuminated exit signs throughout.

#### **4      DISCLAIMERS & QUALIFICATIONS**

TAM Consultants performed the activities associated with this PCA exercising a practical degree of care, judgment, and skill. However, no testing or engineering calculations were completed.

TAM Consultants' findings and recommendations are based on a site visit and visual observations and discussions and do not reflect all the conditions or deficiencies that are present now or in the future.

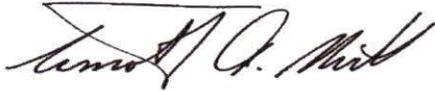
This report does not address any other portions of the building other than those areas mentioned, nor does it provide any guarantee or warranty. Our conclusions in this report are limited to the observed conditions as much as the site observations will readily allow.

This report does not represent engineering design. As we have not calculated any loads verified equipment sizes.

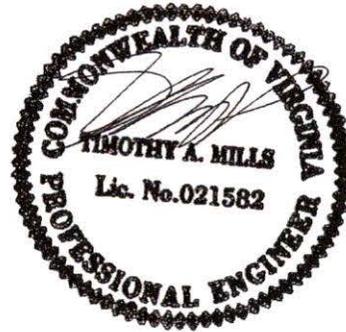
The anticipated costs in this report are for budgeting purposes only. Pricing from qualified contractors should be obtained for each scope of work.

This report is not intended to take the place of any environmental testing. Prior to any work taking place a complete environmental condition assessment should be completed.

Submitted by:



Timothy A. Mills, P.E., LEED AP, CIT II  
TAM Consultants



Luke Jacques  
Project Manager

*Encl.*

PHOTOS:



Photo 1: Typical view of mulch up against siding at 1657 Merrimac Trail.

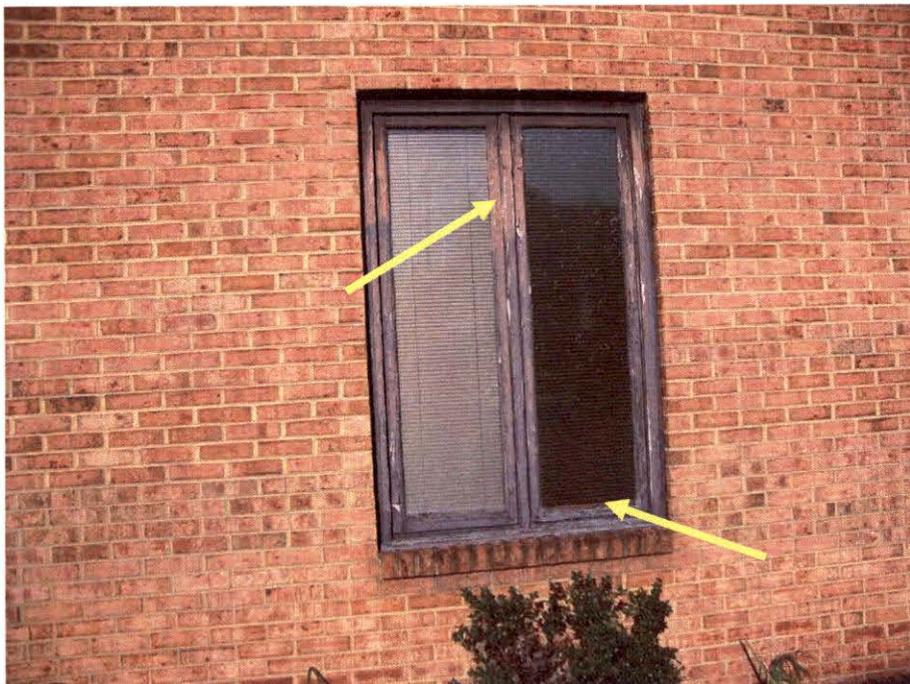


Photo 2: Typical view of window degradation at 1657 Merrimac Trail.



Photo 3: Typical view of asphalt cracking in parking lot area of 1657 Merrimac Trail.

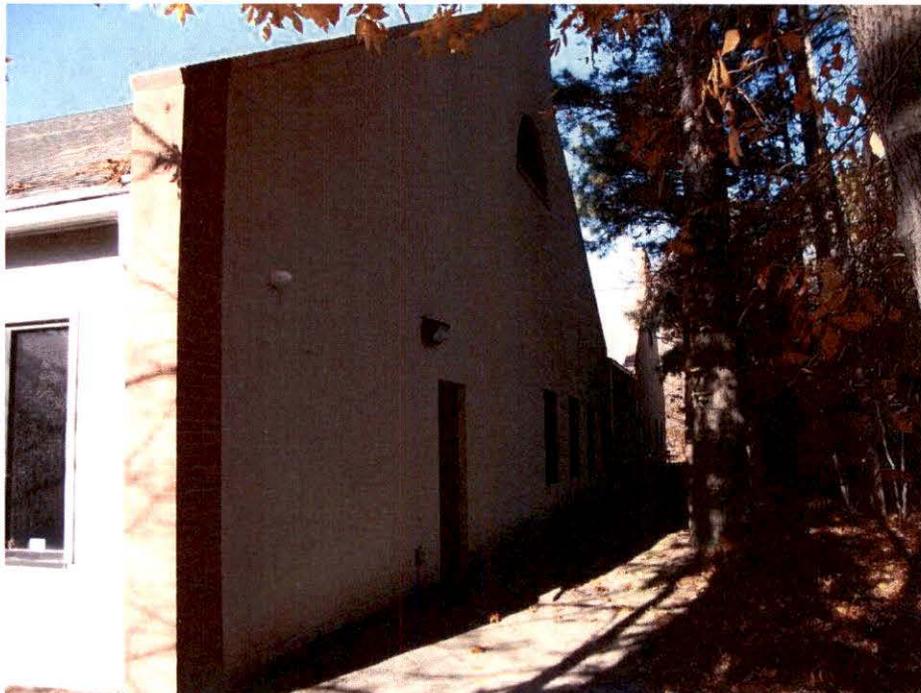


Photo 4: Trees encroaching foundation of 1651 Merrimac Trail Bldg. and also causing damage to roof systems from falling branches.



Photo 5: Leaf accumulation on EPDM roof of 1651 Merrimac Trail Bldg. causing potential drainage problems.



Photo 6: Patched section of 1651 Merrimac Trail Bldg., cause may have been from falling tree limbs.



Photo 7: Crack in sidewalk in front of 1651 Merrimac Trail Bldg.



Photo 8: Typical view of window degradation at 1659 Merrimac Trail.



Photo 9: Typical view of mulch up against siding at 1659 Merrimac Trail Bldg. and siding damage due to buildup.



Photo 10: Damage to siding due to mulch buildup at 1659 Merrimac Trail Bldg.



Photo 11: View of barrier around door due to failed or undersized drain and poor grading around the building perimeter at 1659 Merrimac Trail Bldg.

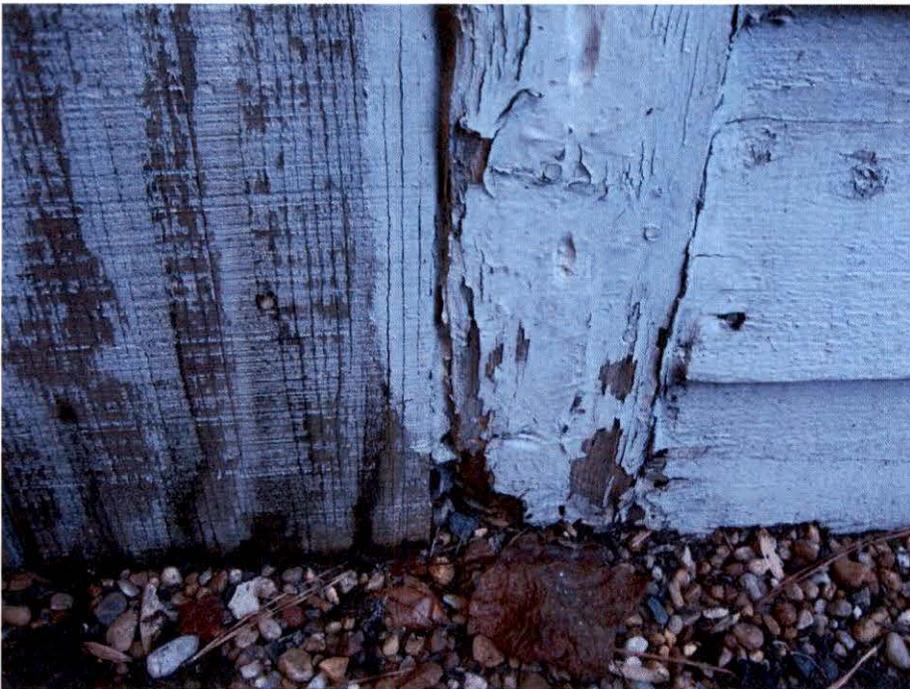


Photo 12: Damage to siding due to contact with ground and deferred maintenance at 1659 Merrimac Trail Bldg.



Photo 13: Alligator cracking of asphalt at the end of the concrete dumpster pad at 111 Warwick Court.



Photo 14: Typical view of mulch up against siding and paint oxidation at 111 Warwick Court.



Photo 15: Roof patches at 111 Warwick Court.



Photo 16: Erosion around trees and potential for roots raising sidewalks at 111 Warwick Court.



Photo 17: Stained acoustic ceiling tile due to previous leak around skylight at 111 Warwick Court.

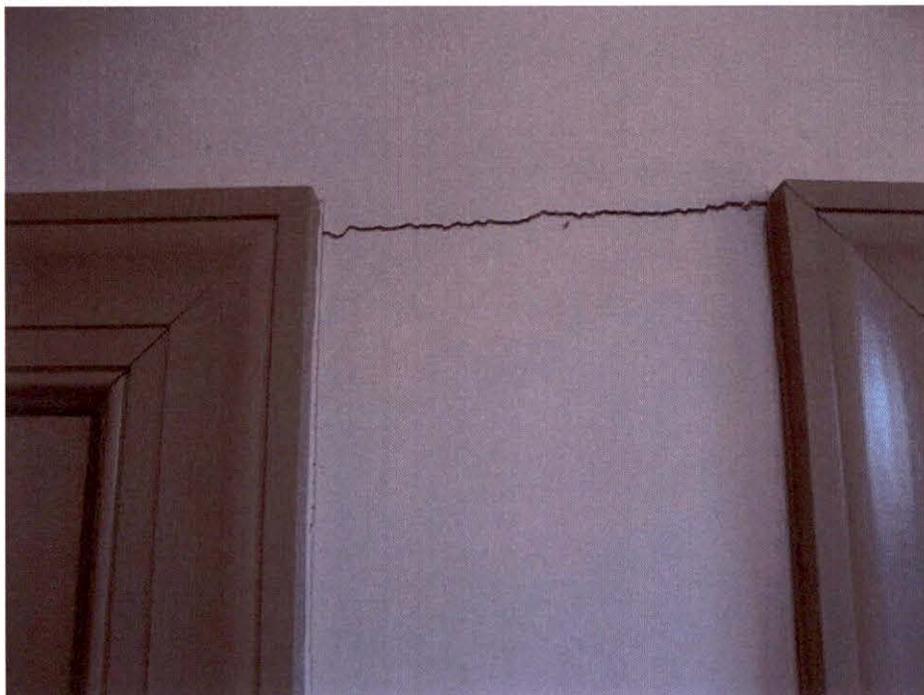


Photo 18: Cracks in drywall due to settlement at 921 Capital Landing Road.



Photo 19: Front elevation of 3804 George Washington Memorial Highway.



Photo 20: Mortar bond failure and missing brick at outside corner of 3804 George Washington Memorial Highway.



Photo 21: Mortar bond failure at window of 3804 George Washington Memorial Highway.



Photo 22: Cracking of asphalt at 11 Warwick Court.



Photo 23: Typical older *Armstrong Air* HVAC condensing unit.



Photo 24: Side elevation of 1659 Merrimac Trail.



Photo 25: Overhead door and loading dock at 1659 Merrimac Trail.



Photo 26: Activity room at 1659 Merrimac Court.



Photo 27: Kitchenette at 1659 Merrimac Trail.

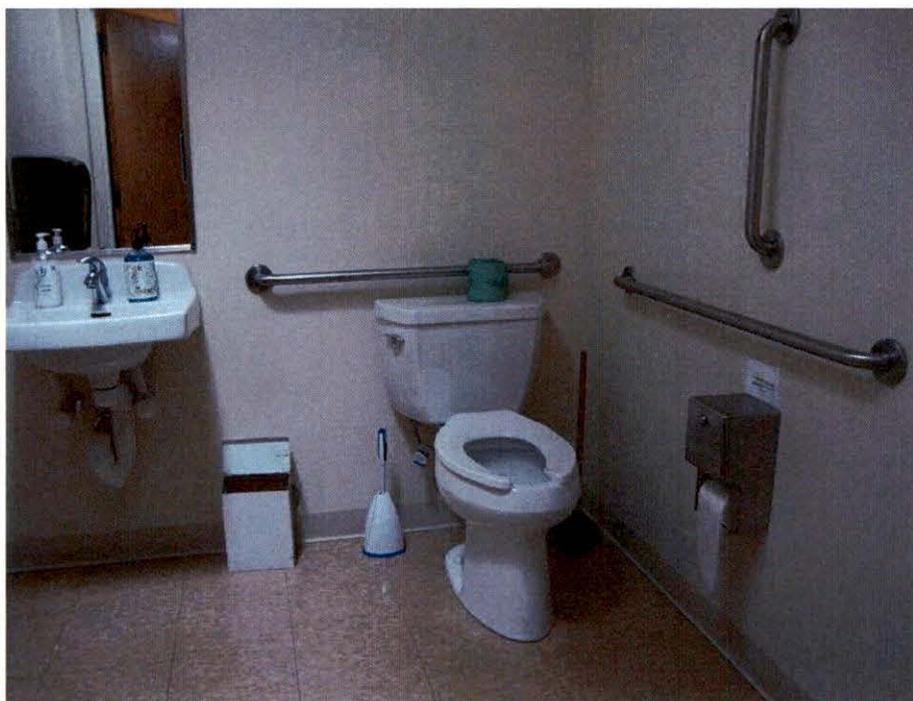


Photo 28: Accessible restroom at 1659 Merrimac Trail.



Photo 29: Attic area of 1659 Merrimac Trail.



Photo 30: Side elevation of 1657 Merrimac Trail.

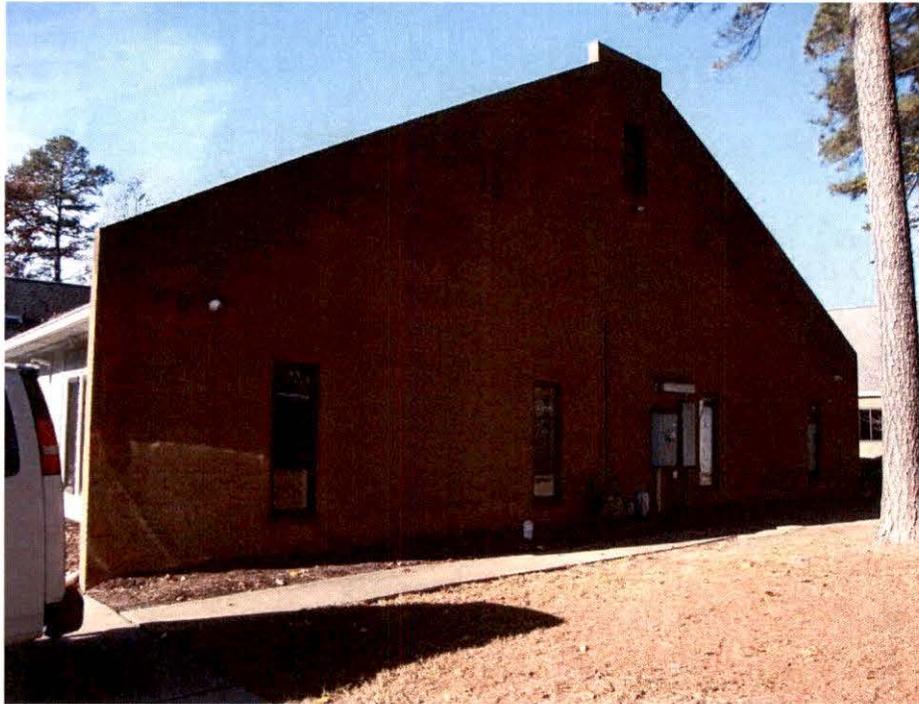


Photo 31: Rear elevation of 1657 Merrimac Trail.



Photo 32: Wood stairway for 2<sup>nd</sup> floor access at 1657 Merrimac Trail.



Photo 33: View of common hallway at 1657 Merrimac Trail.



Photo 34: Accessible restroom at 1657 Merrimac Trail.



Photo 35: View of conference room at 1657 Merrimac Trail.



Photo 36: Kitchen area at 1657 Merrimac Trail.



Photo 37: Typical of two roof top units at 1651 Merrimac Trail.



Photo 38: Entrance and waiting area at 1651 Merrimac Trail.



Photo 39: Front elevation of 921 Capitol Landing Rd.



Photo 40: HVAC units at 921 Capitol Landing Rd.

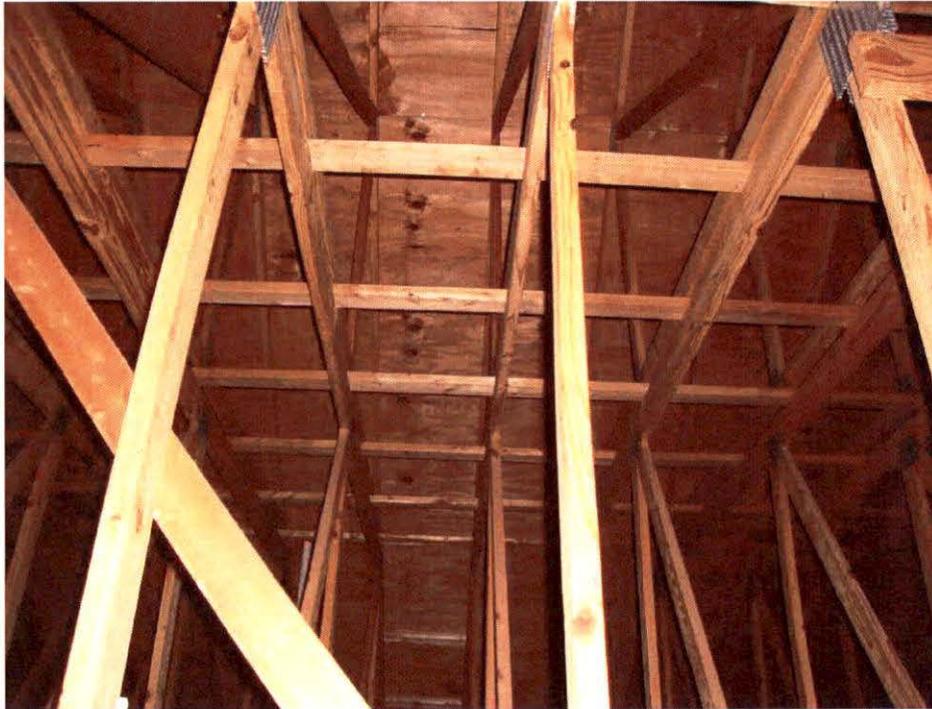


Photo 41: View of attic area at 921 Capitol Landing Rd.



Photo 42: View of reception area from side of building at 921 Capitol Landing Rd.



Photo 43: View of activity room at Warwick Court.



Photo 44: Commercial kitchen at 111 Warwick Court.

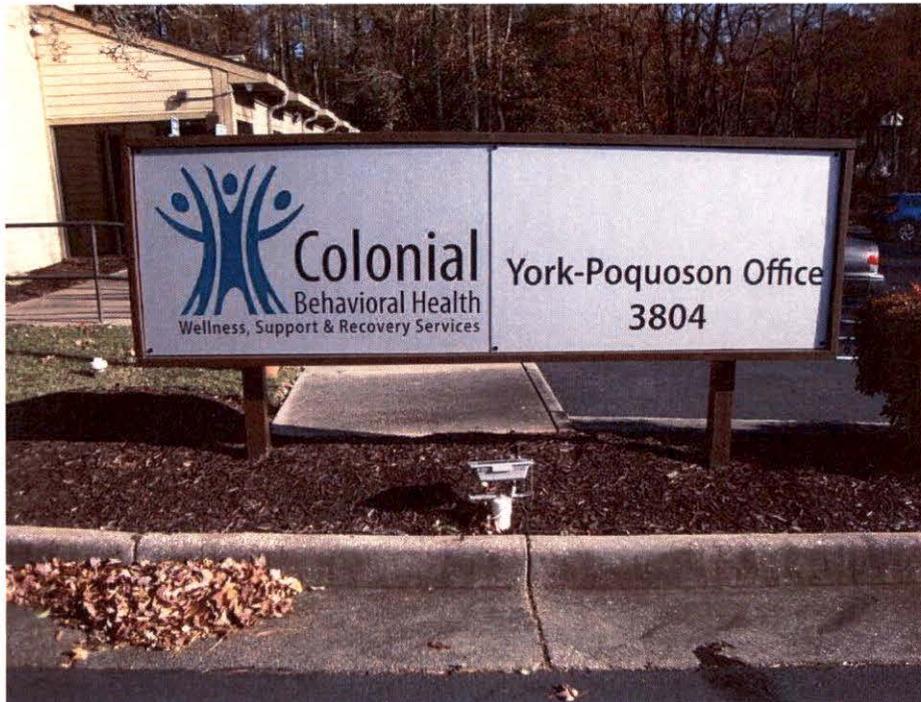


Photo 45: Signage at 3804 George Washington Memorial Hwy.



Rear elevation of 3804 George Washington Memorial Hwy showing flat area where storm water accumulates.



Photo 46: Water heater at 3804 George Washington Memorial Hwy.



Photo 47: Conference room at 3804 George Washington Memorial Hwy.

# Appendix B - Outpatient Services Consolidated Facility Program Analysis



Date: 8/13/24

**Colonial Behavioral Health  
Outpatient Services - Consolidated Facility Space Assessment & Program Analysis**

Functional Area	Existing Total Area (DNSF)	Required Total Area (DNSF)	Required Total Area (DGSF)	Projected Additional Area 10 Years (DGSF)
	Square Foot Analysis			
Primary/Oral Healthcare	0	7,140	9,996	3,052
Exec/Admin	2,848	1,630	1,956	0
HR - Human Resources	560	900	1,080	180
Fiscal	300	150	180	0
Development/Communications	0	200	240	0
Prevention	135	640	768	72
Children's Services	1,660	3,120	4,368	686
Medical	1,115	1,480	2,072	462
Adult Services - AOP	1,890	2,910	4,074	459
Same Day Access/ Central Access	370	600	840	252
Pharmacy	720	1,480	1,776	888
QM/HIM	520	684	821	338
General Services	520	1,140	1,368	432
Information Services	1,171	1,580	1,896	564
Permanent Supportive Housing	300	850	1,020	216
ACT	1,170	2,305	3,227	252
DD	1,186	1,440	1,728	960
Mental Health	669	1,095	1,314	288
Fleet	322	250	300	90
Residential	196	300	360	0
Shared Building Support	1,837	8,945	10,734	0
Sum Department Gross Square Feet (DGSF)	17,489	38,839	50,118	9,191
Department Gross to Building Gross Factor			1.25	1.25
<b>Total Outpatient Services Building Gross Square Feet (BGSF)</b>	<b>29,500</b>		<b>62,647</b>	<b>11,489</b>



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Primary/Oral Healthcare</b>							
<b>Administration (Shared Services)</b>							
Waiting- Main room at front door	0	1	400	400	50%	200	20 seats, sized for 20pp@20sf/pp
Sick wait	0	1	200	200	0%	0	would like to be able to separate sick from well waiting
Receptionist- Medical	0	3	60	180	0%	0	
Billing/ Finance- Office Manager	0	1	100	100	0%	0	
Billing/ Finance- Assistant Office Manager	0	1	100	100	0%	0	
Executive Director	0	1	120	120	0%	0	
Executive Assistant	0	1	100	100	0%	0	
Storage- Admin Supplies	0	1	80	80	0%	0	
<b>Medical</b>							
Clinical Assistant Workroom	0	1	200	200	0%	0	4 shared workstations
Nurse Practitioner	0	2	120	240	0%	0	
Nurse Practitioner/ Clinic Director	0	1	120	120	0%	0	
Chief Medical Officer	0	1	140	140	100%	140	
Physician- OBGYN	0	1	120	120	100%	120	
Optometry Exam	0	1	200	200	0%	0	
BH counselor office	0	2	120	240	50%	120	1 desk, shared by 2 pp
Exam room	0	8	120	960	50%	480	
Tech/Nurse workroom	0	4	120	480	50%	240	2 desks/room- open into exam room
Radiology	0	1	360	360	0%	0	
Xray Tech	0	1	40	40	0%	0	
Volunteer room- Specialists, students	0	1	120	120	50%	60	Students, translators, community professionals(ortho, nephrology, optometry)
Lab- Blood draw	0	1	200	200	0%	0	blood draw, urinalysis-testing goes to Labcorp for processing & analysis. (microscope, centrifuge, blooddraw chair- bariatric, double sink w/ eyewash, specimen refrigerator (20' x 10')(separate eyewash station, draw chair, counter space, be able to designate clean from dirty, geri-chair for lab draws, full size ref, 2nd work station & computer)
drug testing area & toilet	0	1	80	80	0%	0	plumbing controls, documentation area
Medication Assistance Program	0	2	100	200	0%	0	Dispense Medications, help patient 'Navigate' eligibility for medication assistance
Scale/weight/ vitals	0	2	30	60	0%	0	alcove of each main hallway
Vision screening space	0	1	80	80	50%	40	
Medical supplies	0	1	180	180	50%	90	
Medication room	0	1	120	120	0%	0	
Referral Coordinator	0	1	60	60	0%	0	
Immunization Clinic	0	1	140	140	0%	0	immunizations, meds (2) UCRs, 1 full ht meds ref, get subwait near this area 4-6 chairs
Patient bathrooms	0	1	60	60	0%	0	includes specimen collection
<b>Dental</b>							
Operatories/ Exam	0	3	120	360	50%	180	10'x12'- Local Anesthesia only.
Dental Hygienist	0	2	120	240	50%	120	
Dental Assistant	0	2	60	120	50%	60	
Dentist Office	0	1	120	120	50%	60	
Dental prosthetics	0	1	100	100	50%	50	model trimmer, etc.
Dental lab	0	1	100	100	50%	50	dishwasher autoclave, ( 8'x12' room)
Sterilization	0	1	100	100	50%	50	autoclave, ultrasonic cleaner, sink, eyewash, etc
Xray- Panorex	0	1	80	80	0%	0	
Vacuum pump/ compressor room	0	1	120	120	50%	60	nitrous done in room via portable cylinder
Dental Supplies	0	1	120	120	50%	60	toothbrushes, floss, etc
Department Net Square Feet (DNSF)	0			7,140		2,180	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				9,996		3,052	
<b>Notes</b>							
This is a proposed program based partially on OTMDC							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Exec/Admin</b>							
<b>Exec/Admin</b>							
Waiting (close to conf room)	90	1	90	90	0	0	holds 4-6 people
Admin Supply/ Storage	74	1	80	80	0	0	
Admin Work/ Copier area/ Mail boxes	259	1	200	200	0	0	
Executive Director	312	1	180	180	0	0	accommodate a small table for 4-6 pp to meet
Executive Administrative Assistant	287	1	120	120	0	0	
Director - BH services	210	1	120	120	0	0	
Director - Developmental Services	222	1	120	120	0	0	
Director - Special Projects	300	1	120	120	0	0	
Director - Finance	252	1	120	120	0	0	
Director - Information Services	237	1	120	120	0	0	
Director - Operations	305	1	120	120	0	0	
Director - HR	300	1	120	120	0	0	Includes Active personnel files
Director - Access and Crisis	0	1	120	120	0	0	
Department Net Square Feet (DNSF)	<b>2,848</b>			<b>1,630</b>		<b>0</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,956</b>		<b>0</b>	
<b>Notes</b>							
Co-locate finance, exec admin, HR, IT/Info, Svcs							
Grossing Factor Decreased as no consumer care is provided							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>HR - Human Resources</b>							
<b>HR- Human Resources</b>							
HR- Specialist Workroom	180	1	300	300	50%	150	open work area for the 2 specialists and a tech with space to huddle
HR- Generalist	180	1	120	120	0	0	HR specialist can also do the training
Interview room/ Small meeting room	0	1	150	150	0	0	Room to seat up to 10 people
Admin. Workroom and Files & equipment Storage	200	1	330	330	0	0	18 locked vertical files, copier/ printer, files- 4 locked personnel file cabinets, being scanned into HR 'IS' system, fingerprinting & badge equipment
Department Net Square Feet (DNSF)	<b>560</b>			<b>900</b>		<b>150</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,080</b>		<b>180</b>	
<b>Notes</b>							
HR should not be near patients/ clients							
Secured entry to HR area							
Co-locate finance, exec admin, HR, IT/ Info. Svcs							
Grossing Factor Decreased as no consumer care is provided							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Fiscal</b>							
Fiscal Open Workroom	300	1	150	150	0%	0	4 5' x 6' Hotel workstations, supports Revenue Analysts, Reimbursement Coordinator, Fiscal Operations Manager, Credentialing Analyst, and Grant & Financial Reporting Analyst.
Department Net Square Feet (DNSF)	300			150		0	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				180		0	
<b>Notes</b>							
No one is there 100% of time- hoteling is fine							
Grossing Factor Decreased as no consumer care is provided							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Development/Communications</b>							
<b>Development/ Communications</b>							
Fundraising	0	2	100	200	0%	0	forecasting 2 full time, 1 PRN staff
Department Net Square Feet (DNSF)	0			200		0	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				240		0	
<b>Notes</b>							
Grossing Factor Decreased as no consumer care is provided							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Prevention</b>							
<i>Prevention</i>							
Health Promotion Specialist- Manager Office	80	1	120	120	0%	0	
Health Promotion Specialist Open Work Area	25	1	120	120	50%	60	5'x5' workstations supports 2-3
Prevention Education & Support Supplies	30	1	400	400	0%	0	(3) 10 sf closets currently - can put storage in with shared workstations
Department Net Square Feet (DNSF)	<b>135</b>			<b>640</b>		<b>60</b>	
Net to Department Gross Factor (NTDG)				1,20		1,20	
Department Gross Square Feet (DGSF)				<b>768</b>		<b>72</b>	
<b>Notes</b>							
Grossing Factor Decreased as no consumer care is provided							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Children's Services</b>							
<b>OPMH (Outpatient Mental Health)</b>							
<b>Children &amp; Adolescents</b>							
Play Therapy-Observation Room	0	1	180	180	0%	0	Provide A/V for remote observation
Outpatient Clinician Office (Licensed Therapist)	360	6	120	720	50%	360	
Child & Adolescent Clinical Manager Office	120	1	120	120	0%	0	
Coordinator	120	1	120	120	0%	0	
Child & Adolescent Case Management Services Manager Office	120	1	120	120	0%	0	
Case Manager Open Workroom	160	1	240	240	25%	60	4 workstations
Psyche Testing Consultant-GXCAC Office	120	1	200	200	0%	0	
In Home Services' Placeholder-licensed clinicians	140	2	80	160	0%	0	
Quiet/ Sensory Room- dedicated	0	1	80	80	0%	0	fan, hardened finishes, sound control
<b>Medical</b>							
Psychiatrist Office (4 days/ week on site)	140	1	140	140	50%	70	
Nurse Office	100	1	100	100	0%	0	
Intake/ Vitals	0	1	100	100	0%	0	
<b>Support &amp; General Administrative Spaces</b>							
Reception/ check out, Administrative Assistant Workroom	120	2	220	440	0%	0	Need to be able to see front door & parking lot entry to bldg
Children & Adolescent Waiting (NOT NEAR Adults)	160	1	200	200	0%	0	10 seats for children & guardians @ 20 SF/PP (5 families usually come in at one time)
Childrens 'Play' area		1	200	200	0%	0	Accommodates 8-10 children, toys & play table
Department Net Square Feet (DNSF)	1,660			3,120		490	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				4,368		686	
<b>Notes</b>							
Need to be able to see front entry/ parking lot from receptionist position							
Need a small area adjacent to waiting room for children's play area							
Need acoustic dampening at waiting room & play area							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	
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<b>Medical</b>	<b>Remarks</b>
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<b>Medical Services- Adults</b>							
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	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	
Nurse (LPN)	240	3	100	300	50%	150	(connects to Med room)(1 nurse per provider)
Medication Room/ Intake processing	80	1	100	100	0%	0	(injections space, UCR, scale for height/weight, sink, meds ref.)
Restroom (urine testing) +COC alcove	75	1	80	80	0%	0	Urine sample pass-thru door to intake processing
Director of Medical Services	200	1	200	200	0%	0	sees DD w/C clients too & multiple family members
Provider- Prescriber	160	3	120	360	50%	180	
Nursing Services Coordinator	80	1	100	100	0%	0	
Medication Assistance Treatment (Suboxone)	200	1	240	240	0%	0	seats 2 clients & desk for clinician to observe post injection (80sf/pp)
Admin Work Area (copy, mailboxes, office supplies)	80	1	100	100	0%	0	Med services and Pharmacy
Department Net Square Feet (DNSF)	<b>1,115</b>			<b>1,480</b>		<b>330</b>	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				<b>2,072</b>		<b>462</b>	

<b>Notes</b>
Grossing Factor higher due to consumer acuity & medical services



Date: 8/13/24

	Required Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Adult Services - AOP</b>							
<b>AOP (Adult Outpatient Mental Health)</b>							
Waiting room/ Lobby w/ security person station	280	1	400	400	35%	140	(seats 8-10 currently, would like to seat 16-20pp) Can share a waiting room w/ other programs (NOT ACT)
Family Room (Group)	280	1	375	375	50%	188	seats 12pp @25sf/pp
Conference room- small	240	1	375	375	0%	0	Used for IOP group (sized to accommodate 15pp), needs alcove for beverages, needs to be adjacent to restroom with a passthrough window
Admin Work Room (Copier/printer)	80	1	120	120	0%	0	
AOP Coordinator	80	1	120	120	0%	0	
Adult Outpatient Licensed Eligible Therapist	160	2	120	240	0%	0	
AOP- Therapist	520	8	120	960	0%	0	
Storage- PPE	50	1	80	80	0%	0	UDS closet, Close to Small Conference room
Peer Support Workroom	200	1	240	240	0%	0	Supports 4 workstations
Department Net Square Feet (DNSF)	<b>1,890</b>			<b>2,910</b>		<b>328</b>	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				<b>4,074</b>		<b>459</b>	
<b>Notes</b>							
AOP needs to keep adults & children separated							
AOP needs an outdoor therapy gathering place							
AOP needs to be near 'Medical' + case management							
Grossing Factor higher due to consumer acuity & medical services							



Date: 8/13/24

	Required Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Same Day Access/ Central Access</b>							
<b>SDA/CA</b>							
Central Access Manager & Screener	80	1	120	120	0%	0	
Central Access Screener	210	3	120	360	50%	180	
Licensed Therapist- Central Access Intake Clinician	80	1	120	120	0%	0	
Screener	100	1	120	120	0%	0	need a duress alarm
Therapist Office- Dedicated Assessment (GWAC)	240	2	120	240	0%	0	need duress alarm
Unlicensed Therapist	120	1	120	120	0%	0	GWAC
Department Net Square Feet (DNSF)	<b>370</b>			<b>600</b>		<b>180</b>	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				<b>840</b>		<b>252</b>	
<b>Notes</b>							
Grossing Factor higher due to consumer acuity & medical services							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Pharmacy</b>							
<b>Pharmacy (Genoa)</b>							
Pharmacy-dispensing & bulk supply	680	2	600	1,200	50%	600	Would like small retail space for pharmacy, ie: cold/flu meds, aspirin, etc. 2 pickup windows, immunization alcove/'ante room' would be on public side of window
Storage & Adherence Packaging	0	1	200	200	50%	100	deliveries are daily direct to pharmacy, unit dosing cards & bulk vial fills, they do mail order perscriptions too & deliveries
Pharmacy Manager (inside the clinic)	40	1	80	80	50%	40	
Department Net Square Feet (DNSF)	<b>720</b>			<b>1,480</b>		<b>740</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,776</b>		<b>888</b>	
<b>Notes</b>							
Pharmacy needs secured perimeter (walls to deck, no windows)							
Pharmacy needs acoustic dampening for loud packaging equipment							
Pharmacy serves: Medical, ES, OPMH/ AOP, ACT + need to be near the lobby / entrance for quick access							



Date: 8/13/24

QM/HIM	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
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**Quality Management & Compliance**

(HIM) Health Information Technician Open Office	125	1	200	200	50%	100	5 x 5 cubicles includes 1 staff person located in bldg 3 due to space constraints, supports 5 workstations
(HIM) Medical Records Storage/ workroom	275	1	300	300	50%	150	Printers, Scanners, work tables, place for shred (5) bins
(HIM) Health Information Manager	120	1	120	120	0%	0	
Consult/ Private Discussion area w/ clients	0	1	64	64	50%	32	Can just be a small alcove
Quality & Compliance Officer	0	1	120	120	50%	60	sharing an office
Quality & Compliance Manager	0	1	120	120	0%	0	currently sharing an office. Should not be sharing space= confidentiality
Quality & Compliance Specialist	0	3	100	300	50%	150	
Department Net Square Feet (DNSF)	520			684		282	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				821		338	

**Notes**

HIM/QM prefers entry level access for clients, no high density files needed, do not need to be near clinical. Elevator access to a 2nd floor may be ok



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>General Services</b>							
<b>General Services &amp; Security</b>							
General Services Technician	120	2	80	160	50%	80	Put them in with the Maint. Shop & Storage
General Services Coordinator (Manager)- Facilities	100	1	120	120	0%	0	Currently storing building support maintenance items in his office- needs separate storage
General Services Officer (Risk mgmt/ vendor contracts)	100	1	120	120	0%	0	meets w/ vendors in her office
Storage (Yard Supplies, Tools)	50	1	100	100	50%	50	This should be moved out of office area
Bldg Maintenance Shop & Storage	50	1	300	300	50%	150	Roll up door for deliveries
Security- Equipment & Monitoring	0	2	80	160	50%	80	In house or contracted out
Janitorial Storage	100	1	180	180	0%	0	paper goods, floor cleaning equipment, hskp carts- each building needs one
Department Net Square Feet (DNSF)	<b>520</b>			<b>1,140</b>		<b>360</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,368</b>		<b>432</b>	



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Information Services</b>							
<b>Information Services</b>							
Information Technology Support Specialist	200	2	120	240	50%	120	help desk, support, need an additional person in this role
Information Technology Manager	120	1	120	120	0%	0	
System Administrator	100	1	120	120	0%	0	fixing equipment, needs component storage
EHR Application Specialist (pulls teams together)	154	1	100	100	50%	50	'help desk'- on 2nd floor currently
Information Services Manager	267	1	120	120	0%	0	Can Be remote
Business Analyst	130	1	100	100	0%	0	second floor bldg #2. Could be remote if need be
Equipment Storage	120	1	180	180	0%	0	laptops, UPS, old equip. awaiting disposal
Equipment Workroom	0	1	200	200	50%	100	repair & set up computers for employees- large worktable with a lot of outlets for running numerous computers at once
Cyber Security	0	1	120	120	50%	60	Large flat screen for monitoring or subcontract out to service provider
Hotel 'workspace'	0	1	80	80	50%	40	for staff to work while their equipment is being serviced
Server room (Main Hub for CBH)	80	1	200	200	50%	100	includes security system equipment, all info moving onto the 'cloud'. Have 3 racks now, need 3 more. Static dissipative flooring, redundancy in air-conditioning, prefer location not on client floor or 1st floor, security monitoring in room, emergency generator, security badge access
Department Net Square Feet (DNSF)	1,171			1,580		470	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				1,896		564	
<b>Notes</b>							
Emergency Generator- required to keep power for IT/IS & Medication refrigerators							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Permanent Supportive Housing</b>							
<b>Community Integration- Permanent Supportive Housing</b>							
Community Integration Coordinator	80	1	120	120	0%	0	
Housing Case Manager	60	1	120	120	50%	60	shared office with future staff person (ratio CM: patient= 1:15)
Housing Support Specialist Workroom	60	1	150	150	0%	0	supports 2 workstations
Peer Support Specialists	100	2	100	200	25%	50	keep as part-time, shared office- no real growth space-wise= they are 'on the road' going from home to home
Storage- Patient Support	0	1	80	80	0%	0	welcome baskets (personal hygiene items)
Employment Services Manager	0	1	80	80	25%	20	maybe in 1 or 2 years.
Housing Manager	0	1	100	100	50%	50	maybe in 1 or 2 years.
Department Net Square Feet (DNSF)	<b>300</b>			<b>850</b>		<b>180</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,020</b>		<b>216</b>	
<b>Notes</b>							
34 total cases now (2 pp. will grow to 68)- Community Integration- Permanent Supportive Housing							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>ACT</b>							
<b>ACT (Assertive Community Treatment)</b>							
Administrative Assistant/ Program Support	100	1	100	100	0%	0	needs a 'walk up' window for check in & near building entrance
Therapist (counselor)	80	1	120	120	0%	0	
ACT Open Office	340	1	720	720	25%	180	12 workstations, supports case workers, peer, co-occurring, housing, employment, therapist, specialist
Nurse (LPN) Shared Office	100	1	120	120	0%	0	shared office-2 people
Nurse II- ACT RN Workroom	80	1	180	180	0%	0	3 Workstations
Medication Room	80	1	150	150	0%	0	no windows allowed, give injections, patient exam chair for vitals. Needs UCR, Locked medication storage
ACT Coordinator/ Manager	100	1	120	120	0%	0	needs space to meet w/ patients in office
Psychiatric Care Provider (Psychiatrist)	120	1	120	120	0%	0	currently shares office w/ counselor
Group room- large	0	1	375	375	0%	0	need dedicated room for group meetings =15pp x 25sf/pp w/ projection screen capability. Shared w/ other services
Storage- Misc.	50	1	150	150	0%	0	
Storage-client Support	120	1	150	150	0%	0	packaged med orders, food- need UCR, hygiene supplies they may need. Locked as some meds stored inside
Department Net Square Feet (DNSF)	<b>1,170</b>			<b>2,305</b>		<b>180</b>	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				<b>3,227</b>		<b>252</b>	
<b>Notes</b>							
Would like to have all 3 nurses in an open work room together, near pharmacy & medication room (per field notes) with a patient 'exam' area							
Would like to have 3 case managers, 3 counselors, 1 peer support specialist all in 1 open work room							
Nurses can all be together in 1 shared workspace							
BP= work stations grouped in a large open workroom ' Bull Pen' (ACT)							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>DD</b>							
<b>D.D. (Developmental Disability)</b>							
<b>Case Management</b>							
DD Case Management Services Manager	96	1	120	120	0%	0	
DD Case Management Services Coordinator	96	1	120	120	0%	0	
DD Case Manager - Lead	154	2	120	240	100%	240	
DD Case Manager II	720	8	100	800	50%	400	
DD Case Manager	120	2	80	160	100%	160	Can Share a workspace, more of a clerical/admin position
Department Net Square Feet (DNSF)	<b>1,186</b>			<b>1,440</b>		<b>800</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,728</b>		<b>960</b>	
<b>Notes</b>							
DD Case Managers DO NOT meet with clients in their office							
DD Case Managers DO meet with clients for their care plan							
DD Case Mgmt: CM-2= 1 person per 2 yrs; CM-2= 5 per 10 yrs. CM-1= 1 person per 10 yrs							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Mental Health</b>							
<b>Case Management</b>							
Case Manager (4)	248	4	120	480	50%	240	
Case Manager	98	1	120	120	0%	0	
MH- Case Management Services Manager	96	1	120	120	0%	0	
Meeting room (Shared w/ DD/ ID staff)	227	1	375	375	0%	0	sized for 25pp@15sf/pp- staff only- no patients, if patients/clients will use space, increase sf/pp to 25.
Department Net Square Feet (DNSF)	<b>669</b>			<b>1,095</b>		<b>240</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>1,314</b>		<b>288</b>	
<b>Notes</b>							
MH Case Managers DO meet with clients in their office							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Fleet</b>							
<b>Fleet (Transportation)</b>							
Fleet Manager (Transportation)	202	1	100	100	0%	0	includes supplies- tires, wiper blades, etc
Storage- Fleet	120	1	150	150	50%	75	
Department Net Square Feet (DNSF)	<b>322</b>			<b>250</b>		<b>75</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>300</b>		<b>90</b>	
<b>Outside Spaces</b>							
parking for 2 transit vans, 4 mini-buses		10	800	8000	0%	0	mini-bus= 40', high roof 35' long- fenced area.
standard fleet- 2 transit , multiple vehicles & mini-vans		36	200	7200	0%	0	fenced area around vehicles
Vehicle charging stations		2	200	400	0%	0	within fenced area
<b>Notes</b>							
Community Services Coordinator also oversees Fleet, located at Opportunities Unlimited							
Fleet Management can be moved off site if need be, wherever vans will park is preferred							
Fleet management at more of a central location							



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>R</b>							
<b>ns</b>							
<b>Fleet (Transportation)</b>							
Community Services Manager	98	1	120	120	0%	0	
Residential Services Coordinator	98	1	100	100	0%	0	
Storage - Client Supplies	0	1	80	80	0%	0	
Department Net Square Feet (DNSF)	<b>196</b>			<b>300</b>		<b>0</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>360</b>		<b>0</b>	



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Shared Building Support</b>							
Medical Records	202	1	180	180	0%	0	includes supplies- tires, wiper blades, etc
Admin Workroom (Copy, Mail)	0	1	300	300	0%	0	
Staff Restrooms	0	6	60	360	0%	0	
Patient Restrooms	0	4	60	240	0%	0	
Breakroom w/ kitchennette	0	3	160	480	0%	0	
Boardroom	450	1	750	750	0%	0	seats 24 now, want to seat 50pp. Current flat screen TV is too big. Put it near front door
(Gallery) alcove	90	1	60	60	0%	0	small 'waiting' vestibule before entering the boardroom, accommodate an under counter refrigerator & coffee
Executive Conference Room	200	1	375	375	0%	0	Accommodates 25 people with gallery alcove
Conference/Training Room - Public Outreach/ Access	400	1	1000	1000	0%	0	Occasionally do meetings of up to 50 people, with small galley support - sink, ref, microwave
Large Conference Room	375	2	750	1500	0%	0	50 people
Medium Conference Room	0	8	300	2400	0%	0	20 people
Small Conference Room	0	2	150	300	0%	0	10 people
Hotel Office	0	4	100	400	0%	0	
Lactation Room	0	1	80	80	0%	0	
Relax/Respite Room - Staff only	0	1	80	80	0%	0	recliner, other comfort items
Storage	120	1	200	200	0%	0	
IT Comm Room	0	2	120	240	0%	0	
Department Net Square Feet (DNSF)	<b>1,837</b>			<b>8,945</b>		<b>0</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)				<b>10,734</b>		<b>0</b>	

## Appendix C - York-Poquoson Facility Program Analysis



Date: 8/13/24

**Colonial Behavioral Health  
York-Poquoson Space Assessment & Program Analysis**

	Required Total Area (DNSF)	Required Total Area (DNSF)	Required Total Area (DGSF)	Projected Additional Area 10 Years (DGSF)
Functional Area	Square Foot Analysis			
<b>York Poquoson (OPMH, DD)</b>				
Sum Department Gross Square Feet (DGSF)	2,983	5,730	8,022	3,451
<i>Department Gross to Building Gross Factor</i>			1.25	1.25
<b>Total YP Building Gross Square Feet (BGSF)</b>	4,200		10,028	4,314



Date: 8/13/24

	Required Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
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**York Poquoson (OPMH, DD)**

**OPMH (Outpatient Mental Health)- Adults & Adolescents**

**Adults**

Central Access Screener Office	86	1	120	120	0%	0	Meets w/ client to complete 'paperwork' on Ipad
Intake Therapist Office	86	1	120	120	0%	0	
Head Clinician (IOP) Office	86	1	120	120	0%	0	
Clinician (Therapist) Office	86	2	120	240	50%	120	
Case Manager Office	86	2	120	240	50%	120	would like to add 2 positions
Hotel Office	0	2	120	240	100%	240	2 workstations per office
Group Room - IOP	0	2	375	750	50%	375	needs to hold up to 15
Patient Restroom	260	2	60	120	0%	0	1 passthrough for specimen collection
Outpatient Services Office	0	4	120	480	0%	0	

**Children & Adolescents**

Clinician Office (Licensed Therapist)	86	2	120	240	100%	240	
Clinician Office (PRN)	86	1	120	120	50%	60	Would like to give them a place
Family Room	210	1	375	375	50%	187.5	right sized for 15pp- will share
Play Therapy	0	0	180	0	0%	0	Refer them to Capitol Landing

**Medical Services**

Nurse	140	1	80	80	0%	0	
Nurse Workroom/ Meds/ Intake	96	1	100	100	0%	0	injections, vital signs
Drug Testing Restroom & Chain of Command Documentation Ar	60	1	80	80	50%	40	Connect to specimen collection restroom
Psychiatrist Office	140	1	140	140	0%	0	Office is shared by 2 MDs

**Administrative/ Support Services**

Lobby/ Waiting	255	1	375	375	50%	187.5	(accommodates 6-8 people currently)(Would like it bigger)
Child Waiting/ Play Area	86	1	150	150	50%	75	(accommodates 4 kids + play table & toys currently)(upsized to accommodate 6 kids @25sf/ppp)
Administrative Assistant	120	3	80	240	50%	120	need to see front door, open office workspace, Check-In & Check-Out
Outpatient Manager Office	120	1	120	120	50%	60	in the office 3 days/ week
Conference Room w/ Service Area (countertop & cabinets)	464	1	500	500	50%	250	(currently used as a group room also)(sized to accommodate 20 pp)
Staff Lounge	155	1	120	120	50%	60	sized to accommodate 8pp
Admin Work Area (Copier, mailboxes, office supplies)	135	1	120	120	50%	60	keep in with or quick access to admin assistants
Storage (client support items)	30	1	100	100	50%	50	
Housekeeping Supplies	30	1	100	100	50%	50	
Staff Restroom	0	1	60	60	50%	30	ADA compliant
Public Restroom (unisex)	0	1	60	60	50%	30	
IT/ Comm Room	80	1	120	120	50%	60	
Storage- Building Support	0	1	100	100	50%	50	
Department Net Square Feet (DNSF)	2,983			5,730		2,465	
Net to Department Gross Factor (NTDG)				1.40		1.40	
Department Gross Square Feet (DGSF)				8,022		3,451	

**Outdoor Spaces**

Outdoor Therapy Area	0	1	120	120	50%	60	
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**Notes**

Mental Health Clinic - Chapter 260
Substance Abuse Clinic - Chapter 202
NTDG for Mental Health Clinic is 1.40 per Chapter 260
Need visibility of Lobby entrance & parking lot
need to be near Newport News border, centrally located & NEAR BUS STOP
Would like an outdoor therapy area- 'walk & talk' therapy
Keep Adult & Adolescent clients separated

## Appendix D - Day Programs Facility Program Analysis



Date: 8/13/24

**Colonial Behavioral Health  
Day Programs - Opportunities Unlimited & People's Place Space Assessment & Program Analysis**

Functional Area	Existign Total Area (DNSF)	Required Total Area (DNSF)	Required Total Area (DGSF)	Projected Additional Area 10 Years (DGSF)
	Square Foot Analysis			
DD - Opportunities Unlimited & Residential	5,800	5,390	6,468	2,862
People's Place	3,570	4,885	6,351	475
Shared Support	775	2,610	3,132	1,080
Sum Department Gross Square Feet (DGSF)	10,145	12,885	15,951	4,417
<i>Department Gross to Building Gross Factor</i>			1.25	1.25
<b>Total Day Programs Building Gross Square Feet (BGSF)</b>	12,500		19,938	5,521



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>DD - Opportunities Unlimited &amp; Residential</b>							

**D.D. (Developmental Disability)**

**Day Services ("Opportunities Unlimited")**

Nurse	80	1	80	80	0%	0	
Medication room (injections, etc)	30	1	80	80	0%	0	should have sink, UCR, space for wheelchair to turn & park. Needs locking cabinets & 5' counter
DD Specialist	240	2	100	200	0%	0	
Program Manager	105	1	120	120	0%	0	
Coordinator	80	1	100	100	0%	0	
Community Services Associate II	160	2	80	160	100%	160	
Small Storage (in lobby)	0	1	80	80	0%	0	
Large Multi-purpose/ Activity room (CSA 1 & 2s work in the space w/ clients)	3,575	1	2,400	2,400	50%	1,200	includes 6 direct care desks. Floor outlets. sized for 60pp @ 40sf/pp
Small Activity	400	1	400	400	50%	200	
Computer Alcove/ Area	0	1	150	150	50%	75	Would like to have 6 Stations, 25sf/pp
Client Belongings Area	0	1	120	120	50%	60	(40) 1/2 height lockers. Locate near changing room/ bathroom
Client Restroom (2 toilet stalls each bathroom, 1 Shower)	255	2	180	360	50%	180	all ADA compliant with ceiling mounted lifts to maneuver clients. Multi-stall toilet rooms, ADA compliant
PT/OT room w/ 1 table	250	1	400	400	50%	200	get PT/OT tables 'out' of bathroom
Staff Group/ Small Activity/ Quiet Resting Room	525	1	400	400	50%	200	used as 'quiet room' sometimes. sized for 10pp @40sf/pp. No windows
Storage	100	1	80	80	50%	40	
Storage- Client Files (in Nurse room now)	0	1	60	60	50%	30	
Staff Restroom	0	2	60	120	0%	0	
Visitor lobby	0	1	80	80	50%	40	Full visibility- back door arrival-covered entry for client arrival via w/c accessible minivan
<b>Department Net Square Feet (DNSF)</b>	<b>5,800</b>			<b>5,390</b>		<b>2,385</b>	
<b>Net to Department Gross Factor (NTDG)</b>				<b>1.20</b>		<b>1.20</b>	
<b>Department Gross Square Feet (DGSF)</b>				<b>6,468</b>		<b>2,862</b>	

**Notes**

Mental Health Clinic - Chapter 260
Substance Abuse Clinic - Chapter 202
CSA 1 & 2 in together out on the floor working with clients
DD Opportunities Unlimited would like access control to 'staff only' spaces to mitigate consumer entry
DD Opportunities Unlimited would like to be near Case Management as they work closely together
DD Opportunities Unlimited would like to stay close to the area that they are in now, it is a good central location for consumers



Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>People's Place</b>							
<b>People's Place (PSSR, MH Skilled Svcs &amp; ADL)</b>							
Open Wait for ride pickup	50	1	50	50	0%	0	5 pp x 10sf/pp
Reception/ check out	30	1	80	80	0%	0	5'x6' sign in/out desk at front door
Large Activity Room	2400	1	2,000	2,000	0%	0	30 clients per day, would like to plan for 50 (40sf/pp). Need a large Flat screen TV (for movies)
Small Activity Room	470	1	800	800	0%	0	25 clients. Flat screen TV
Computer Alcove	0	1	100	100	50%	50	4 clients/computer stations- can be in an alcove off the activity room
Group Therapy (small 'living room')	80	1	180	180	50%	90	8-10 pp. Group, Family meeting, care team meeting. would like 3 total, need 2 more
Group Therapy (conference room)	0	1	180	180	50%	90	8-10 pp.
Hotel Space (2 workstations)	0	1	120	120	50%	60	
Client Belongings Storage	40	1	150	150	50%	75	(Lockers-coats/lunch)(50 x 6sf/pp)double ht lockers, include a full size refrigerator
Storage	120	1	300	300	0%	0	
PSR Rehab Specialist	60	2	120	240	0%	0	2 workstations per office
PSR Manager	50	1	120	120	0%	0	
MH Specialist	0	2	120	240	0%	0	Currently in Bldg # 3 but see the same clients, would like them in w/ PSR program space, 2 workstations per office
Client Restroom	150	3	65	195	0%	0	
Staff Restroom	120	2	65	130	0%	0	
Department Net Square Feet (DNSF)	<b>3,570</b>			<b>4,885</b>		<b>365</b>	
Net to Department Gross Factor (NTDG)				1.30		1.30	
Department Gross Square Feet (DGSF)				<b>6,351</b>		<b>475</b>	
<b>Notes</b>							
Would like an outdoor space for up to 25 people to gather							
Do not locate this program near children/ adolescents							
Case managers really need spaces to meet with clients like 'small comfortable living rooms'							
Grossing Factor Higher due to Consumer needs for 'space'							

Date: 8/13/24

	Existing Net Area (NSF)	Total Number of Rooms	Required Net Area (NSF)	Required Total Area (DNSF)	Projected Growth (10 Years)	Projected Area Requirement (10 Years)	Remarks
<b>Shared Support</b>							
<b>Day Programs</b>							
Lactation Room	0	1	80	80	0%	0	no windows, needs sink & refrigerator
Activity Room, with storage	0	1	400	400	0%	0	single activity room for art, garden, music and pet therapy
Kitchen, with storage	200	1	300	300	100%	300	
Mock apartment	0	1	600	600	100%	600	
Mock retail training store (canteen)	225	1	200	200	0%	0	
Canteen Storage	30	1	100	100	0%	0	
Conference Room	0	1	300	300	0%	0	20 pp
Hotel Office	0	1	100	100	0%	0	
Laundry room	300	1	150	150	0%	0	2 washers/dryers
Janitorial storage	0	1	100	100	0%	0	
Staff Break room	0	1	160	160	0%	0	
IT Room	20	1	120	120	0%	0	
Department Net Square Feet (DNSF)	<b>775</b>			<b>2,610</b>		<b>900</b>	
Net to Department Gross Factor (NTDG)				1.20		1.20	
Department Gross Square Feet (DGSF)			<b>3,132</b>			<b>1,080</b>	
<b>Outdoor Spaces</b>							
Outdoor Therapy/Activity		1	800	800	0%	0	
Outdoor Garden		1	625	625	0%	0	
Outdoor Recreation		1	625	625	0%	0	
<b>Notes</b>							
Would like an outdoor space for up to 25 people to gather							
Do not locate this program near children/ adolescents							
Case managers really need spaces to meet with clients like 'small comfortable living rooms'							
Grossing Factor Higher due to Consumer needs for 'space'							