

FENTON MILL

A Planned Residential Community

DESIGN GUIDELINES MANUAL

Submitted to
York County, Virginia

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Conceptual streetscape view of townhomes.

ACKNOWLEDGEMENTS

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Conceptual streetscape view of single family homes.

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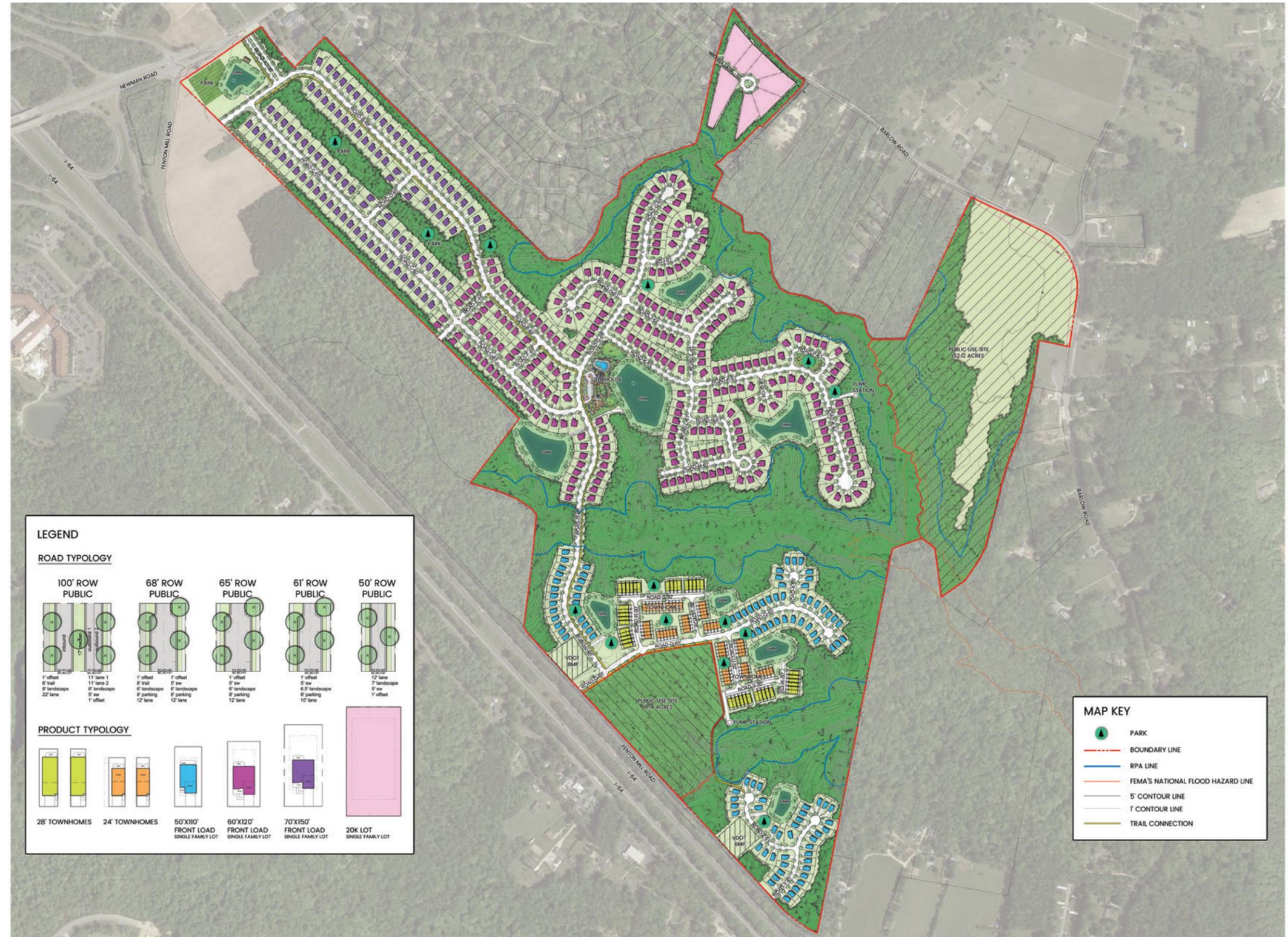
Conceptual streetscape view from entry drive.

MASTER PLAN

Fenton Mill creates a framework for an inclusive, sustainable community aspiring to a high environmental standard and quality of life for its residents, unique in its identity while remaining integrated with the Williamsburg and upper York County community. The development is a Planned Development Residential (PDR) community that consists of single family homes and townhomes nestled in a woodland setting. Associated community amenities are provided throughout to enhance a cohesive and attractive benefit for the community's health and connectivity. Special emphasis has been placed on the design and layout of the community elements to provide preservation of the site's extensive natural areas. Public access walkways and a series of trails will connect within the community, providing access to parks, trails, recreation centers, and future County facilities.

The most valued resource in a good community is its open space. The proposed open space, including areas left undisturbed will take full advantage of the topography and natural features while maintaining existing vistas and view sheds. The open space offers a variety of programs and functions for the residents by providing small pocket parks that combine both passive and active recreation.

The design guidelines provided in this manual delineate the basic variety in design form expected for Fenton Mill. The combination of land uses, building typology, streetscape and quality of public spaces outlined in this manual will make this new community an identifiable and unique addition to York County. The following design principles provide the framework for the development and are the basis for the Design Guidelines.



Fenton Mill Master Plan

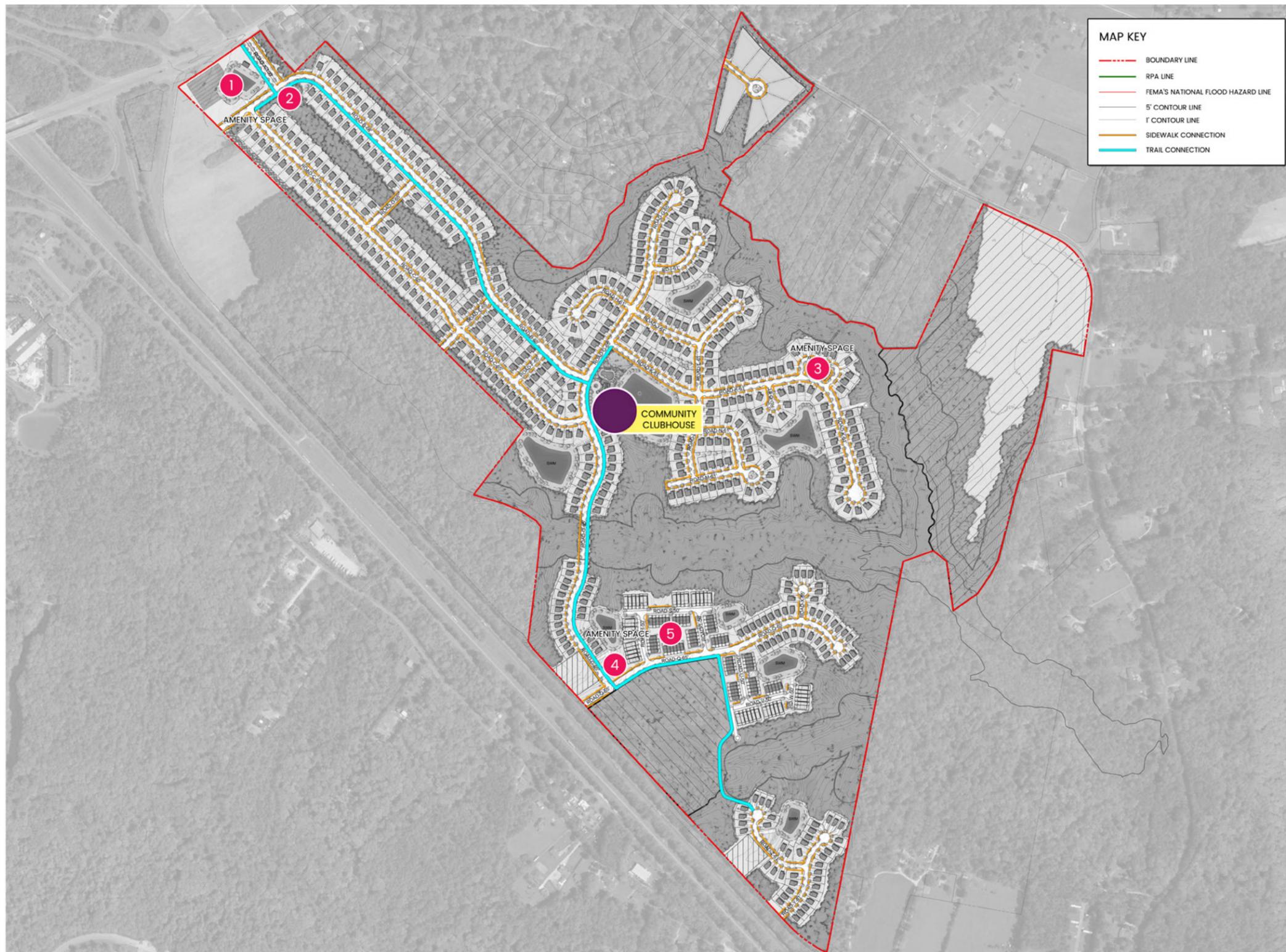
PEDESTRIAN CONNECTIVITY & PARK DESIGN

PEDESTRIAN CONNECTIVITY, or walkability, is often valued for active recreation purposes and ease of access to community amenities. Sidewalks and trails will provide safe access to every corner of the community.

Sidewalk material shall be consistent throughout the site and shall be constructed of a brushed concrete within the public right of way. All sidewalks throughout the community will be compliant to Virginia Department of Transportation (VDOT) regulations for accessibility and curb ramp access. Sidewalks within the private open space areas can be either a brushed concrete finish or asphalt.

The lead walks for the townhome units will tie directly into the main pedestrian travel ways therefore a change in material to interlocking permeable pavers may be used to signify that they are private walks. Private lead walks for the single family units tie into the individual driveways. The walks may be of a material that compliments the architecture and builders.

PARKS in communities are often the most cherished spaces for the community's residents and visitors. They build community connections and social equity to foster strong relationships and create sustainable communities. Parks throughout Fenton Mill have been programmed to provide adequate recreational resources as well as passive assets to the community. In the townhouse areas, parks are programmed to support a broader range of community uses where greater needs for outdoor recreation exist. In the single family neighborhoods, parks are provided to be more passive and create a place to gather among neighbors.



Fenton Mill Amenity Key and Pedestrian Circulation Map

NEIGHBORHOOD PARKS

NEIGHBORHOOD parks provide recreational and congregation space to evoke community involvement and socialization. These spaces provide central active area for community events and gatherings, and passive recreational space for a peaceful moment in nature.

Proposed for the Neighborhood Parks are:

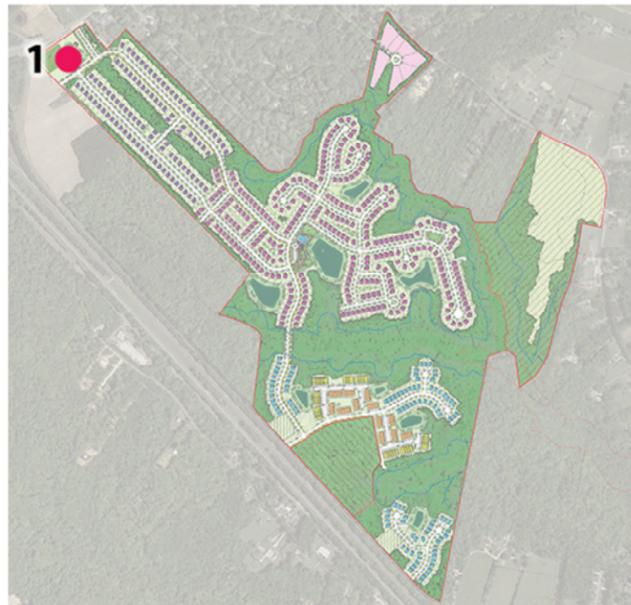
- Tot lots
- Game lawn and open space
- A Youth U8 Soccer Field
- Seating and gathering area
- Shade and picnic shelters
- Enhanced landscaping



Neighborhood Park 1



Neighborhood Park 1



KEY MAP

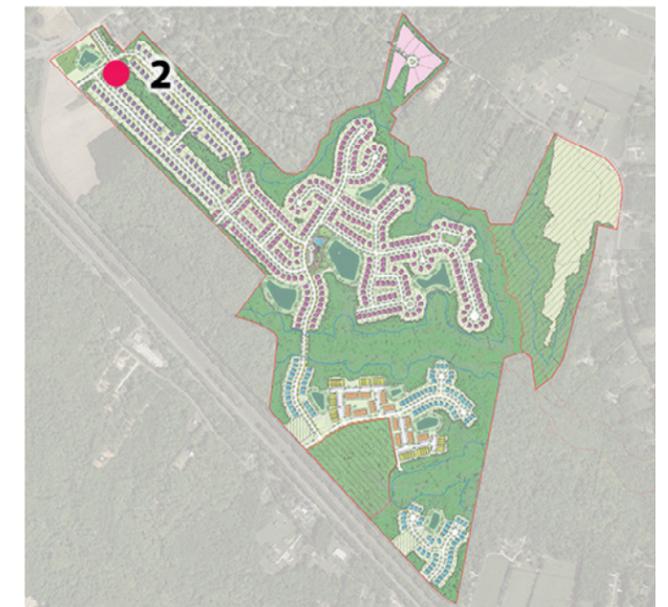




Neighborhood Park 2



Neighborhood Park 2



KEY MAP

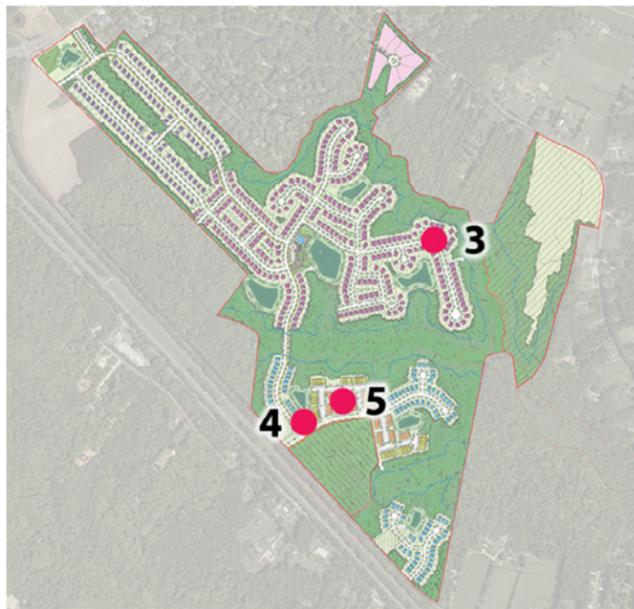




Neighborhood Park 3



Neighborhood Park 4



KEY MAP



Neighborhood Park 4

COMMUNITY CLUBHOUSE

THE Community Clubhouse is the central and most visual community amenity. The architectural style merges modern materials in a familiar, front porch setting to capitalize on the community's natural setting. The Fenton Mill Clubhouse will be a 4,000 – 5,000 square foot facility featuring:

- Community meeting space
- Pre-packaged food preparation area
- Fitness center
- Supportive pool facilities
- Porch and outdoor living space

The facility will be designed to provide 12-month access and encourage use outside of the pool season.



KEY MAP



The pool will be designed to support a fully accessible program by providing beach entry and lounging areas. Other features such as shade structures and picnic facilities will be provided to encourage length of stay.

The rest of the clubhouse area provides amenities including open space, shade shelter and pavilions, children's playground, dog park, and a meandering path following the terrain into nature. Drop off and parking lot are also provided for convenient access to the clubhouse. The parking lot serves easy loading and unloading for community events like farmer market to take place at the plaza. The community clubhouse area is an integrated central recreation space for all residents to enjoy.



W. O. Riley Park playground, LPDA.



Creekside Village dog park, LPDA.

COMMUNITY ENTRANCE

THE location of the site is a classic merge of transitional suburban and highway supportive land uses and rural landscapes. Immediately adjacent to Interstate 64 the site is extremely well located for commuters in and around the Peninsula and broader Hampton Roads region. The gateway into the community must provide a link to the heritage of the area while providing a statement into the community. Inspired by old Virginia equestrian farms, the large entrance feature combines the elements of brick, wood, and metal into a modern twist of farm style signage. The background of the entrance feature includes a stormwater pond with rows of ornamental grasses planted to mimic a working farm field. Together the entrance feature pays tribute to Fenton Mill's farming history while signifying the development of a new community.



Community entrance sign perspective.



Community entrance sign on both sides of the road.

GENERAL LANDSCAPE GUIDELINES

LANDSCAPE material selections shall respond to the surrounding architecture and shall reinforce and define the public open space within the site. In general, street tree species shall correspond to the specific street type they are located on. This will help define the overall hierarchy of street connections and create clear pedestrian and vehicular zones. Overall, landscape selections will be based on year round interest, the ecology of the site, the need to define spaces, and the theme of the design.

To the extent possible, regional indigenous species are to be integrated into the planting designs, particularly in the forest conservation zones of the site. Plant materials shall be resistant to disease and damage by deer and other fauna of the area. There shall be a diverse mix of plant species to avoid monoculture and ensure seasonal interest. All plant beds shall be fully prepared as per the plan specifications.

1. Street Trees shall be provided along all internal thoroughfares.
2. Landscape Plantings for individual homes should consist of a limited variety of trees, shrubs, and groundcovers to create an attractive well-organized cohesive landscape. Shrubs and groundcovers should be planted in masses of a single species or cultivar in sufficient numbers to create beds or drifts of plants.
3. Landscape plantings for the townhome blocks should have a consistent garden theme that will encourage massing of species for color and texture.
4. Plants shall be selected based on their ultimate height, width, and growth habit in relation to the space where they will be planted. When planted adjacent to buildings, plantings should not obscure the building's architectural features.



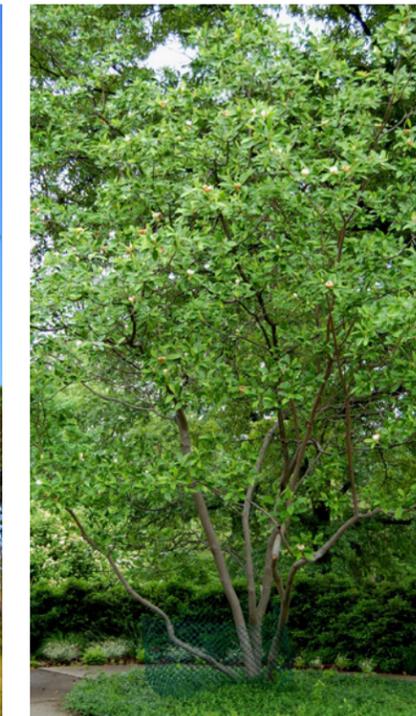
Quercus coccinea, Scarlet Oak



Quercus palustris, Pin Oak



Pinus taeda, Loblolly Pine



Magnolia virginiana, Sweetbay Magnolia



Lupinus perennis, Lupine



Echinacea purpurea, Coneflower



Cornus florida, Flowering Dogwood



Cercis canadensis, Eastern Redbud



Myrica cerifera, Bayberry



Clethra alnifolia, Sweet Pepperbush



Schizachyrium scoparium, Little Bluestem

Proposed Plant Palette Sampling

CANOPY TREES:

Red Maple
Scarlet Oak
White Oak
Pin Oak
Blackgum

ORNAMENTAL TREES:

Canada Serviceberry
Eastern Redbud
White Fringetree
Flowering Dogwood
American Hornbeam

EVERGREEN TREES:

Loblolly Pine
American Holly
Sweetbay Magnolia
Virginia Pine
Baldcypress

SHRUBS:

Red Chokeberry
Sweet Pepperbush
Witch Hazel
Inkberry
Sweetspire
Bayberry
Low Bush Blueberry

PERENNIALS & GRASSES:

Blue Star
Columbine
Coneflower
Lupine
Cardinal Flower
Purple Lovegrass
Little Bluestem

GENERAL BUILDING GUIDELINES

BUILDING design guidelines seek to create a distinct yet coherent architecture that will foster a unique identity for Fenton Mill and form the backdrop to a rich street level experience. These guidelines will significantly help distinguish the community, help define its character and eventually raise its value in the marketplace. The following set of principles will be applied to each of the buildings, irrespective of its use or location.

1. Build in the tradition of simple yet elegant designs. Building architecture and elevations promote a more contemporary nature through use of simple unifying roof and window lines and careful selection of materials. The building aesthetic should emerge from elevation components and building details rather than from mere ornamentation.

2. Variety- Each consecutive group of four or more adjacent attached homes shall have different and distinct elevations. In addition, single family homes immediately adjacent to another shall have distinct and different elevations. No identical color schemes for single family detached houses shall be repeated within four consecutive lots.



Example of Single Family Architecture: HHHunt, Chatham, Heritage B



Example of Townhome Architecture: HHHunt, Davenport, Farmhouse D

3. Use traditional, high quality and durable materials throughout the community.- When walls are constructed of more than one material, changes in material shall be permitted along a horizontal or vertical line and should reinforce a base, middle and top for the building. Building walls shall be of the following materials:

- Brick- A variety of traditional brick colors and modules and bonding variations are encouraged
- Stone- Natural stone and stone veneer are permitted and shall be laid predominantly rectilinear stones in a horizontal pattern. Cast stone shall be permitted as sills, headers and accents.
- Siding- Cement or fiber board siding or high-quality vinyl or its equivalent is the prescribed siding material where brick or stone is not utilized. Aluminum siding is not permitted. A variance in color and texture is encouraged.

4. Emphasize main entries of each home regardless of elevation. The main entrance to each home should be easily identifiable from the main travel ways through use of materials and forms.

SINGLE FAMILY DETACHED LOTS GUIDELINES

The architecture shown herein is a representation of builders' architecture that may be built in Fenton Mill, but does not represent the full sampling of architecture or builders that may be provided within the community.

In a development like Fenton Mill it is important to capture a broad buyer group including new buyers, upgrade buyers, move-down buyers, etc. Fenton Mill is offering 4 different minimum lot sizes within the community.

The typical lot sizes include:

Wichita Road expansion = min. 21,000 square feet (7 lots)

70'x150' (70' Lots) = 10,500 square feet

60'x120' (60' lots) = 7,200 square feet

50'x110' (50' lots) = 5,500 square feet

Lot Setbacks

To create a more interesting and unique streetscape the lot setbacks will be required to vary from adjacent lots. Typical setbacks are measured from the right-of-way to the facade or the garage and are as follows:

50' Lots (50'x110')

Building restrictions (BRL)

Typical front yard:

25 feet minimum

*Alternate front yard setback:

30 feet minimum

Side yard: 10 feet minimum

Rear yard: 15 feet minimum

(*See setback guidelines below)

60' Lots (60'x120')

Building restrictions (BRL)

Typical front yard:

30 feet minimum

*Alternate front yard setback:

35 feet minimum

Side yard: 10 feet minimum

Rear yard: 15 feet minimum

70' Lots (70'x150')

Building restrictions (BRL)

Typical front yard:

40 feet minimum

Alternate front yard setback:

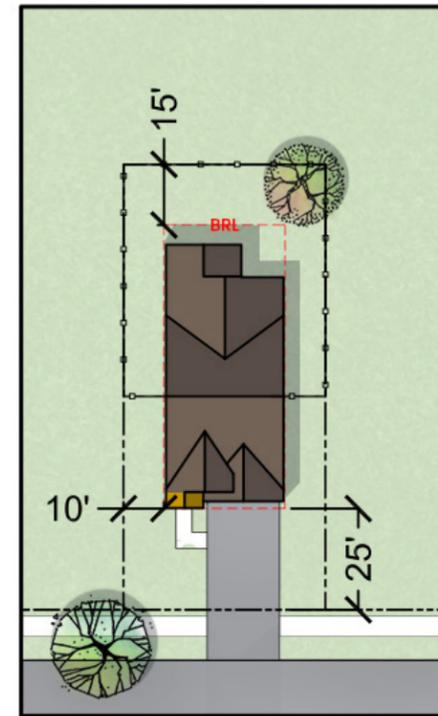
45 feet minimum

Side yard: 10 feet minimum

Rear yard: 30 feet minimum

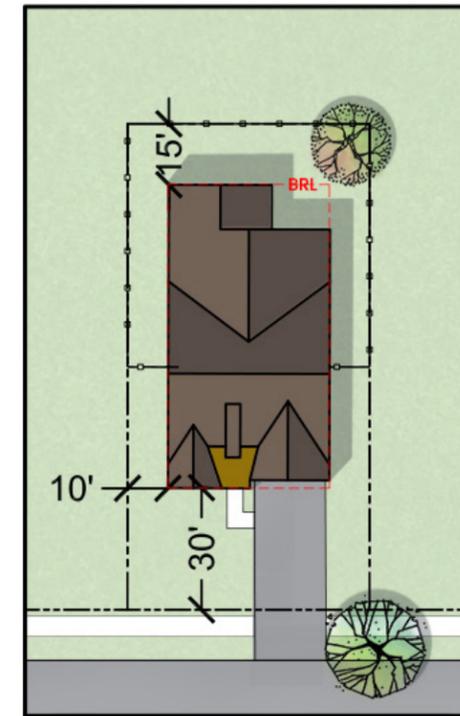
Setback Guidelines

- Two (2) out of every five (5) continuous lots will be required to use the Alternate front yard setback listed above.
- The two (2) alternate setback lots must be separated by a Typical front yard setback lot.
- Architectural features such as front porches, bay windows or bumps outs will be allowed to encroach over the front yard BRL a maximum of eight (8) feet.
- Corner lots or lots that back to adjacent lots must have a 10-foot landscape easement placed on the street facing side of the property to allow for buffering/screening. Landscaping must be located outside of drainage and utility easements.

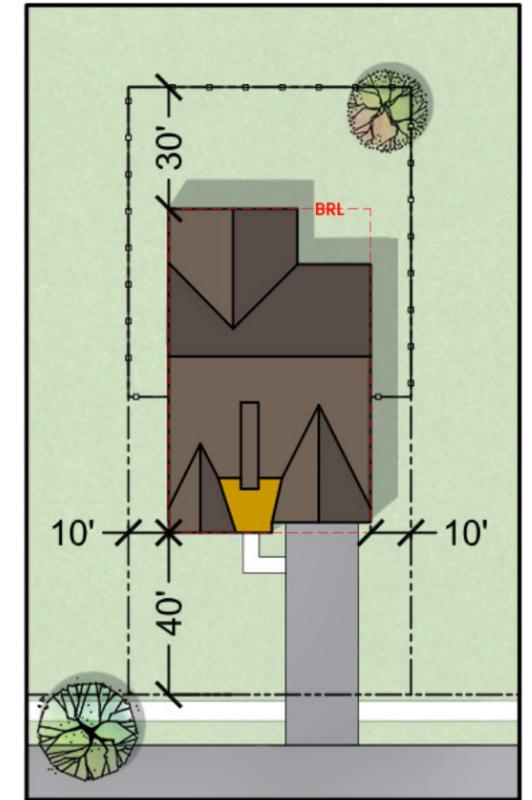


50' LOT

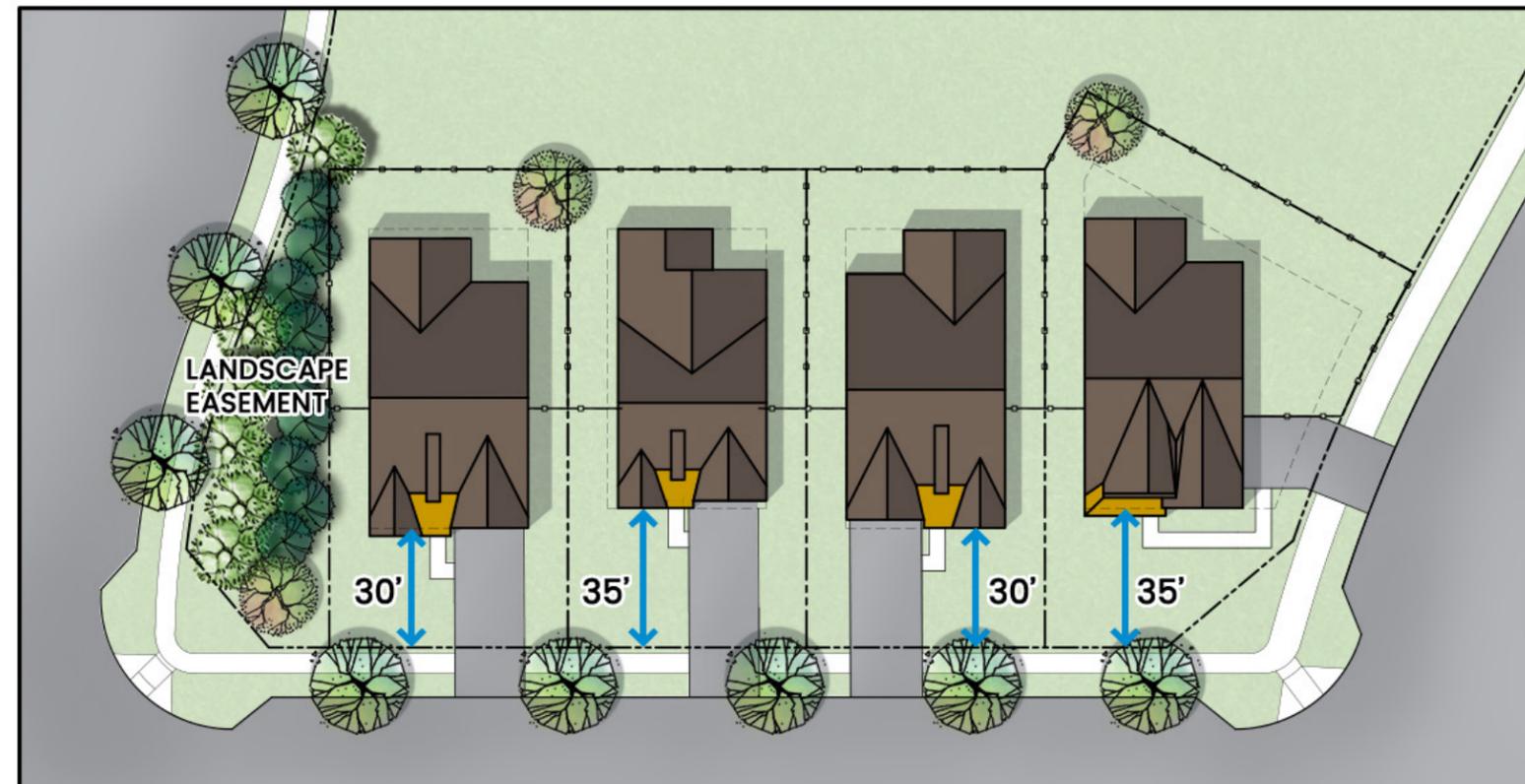
Typical Lot Setback



60' LOT



70' LOT'



Example of Alternate Setback

ARCHITECTURE TREATMENTS AND MATERIALS

Single Family Detached Highly Visible Lots (HV):

Lots on prominent corners will be designated as High Vis or "HV" lots. These lots will be required to have upgraded architectural features on the facades that face the community entrance, street, end/corner lots, or high traveled areas. Within the Fenton Mill community there will be 2-tiers of HV lots (HV1 and HV2) which are outlined within this section.



Overall High Vis Lot Map

HIGH VIS 1 LOTS; EXAMPLE OF ARCHITECTURE UPGRADES

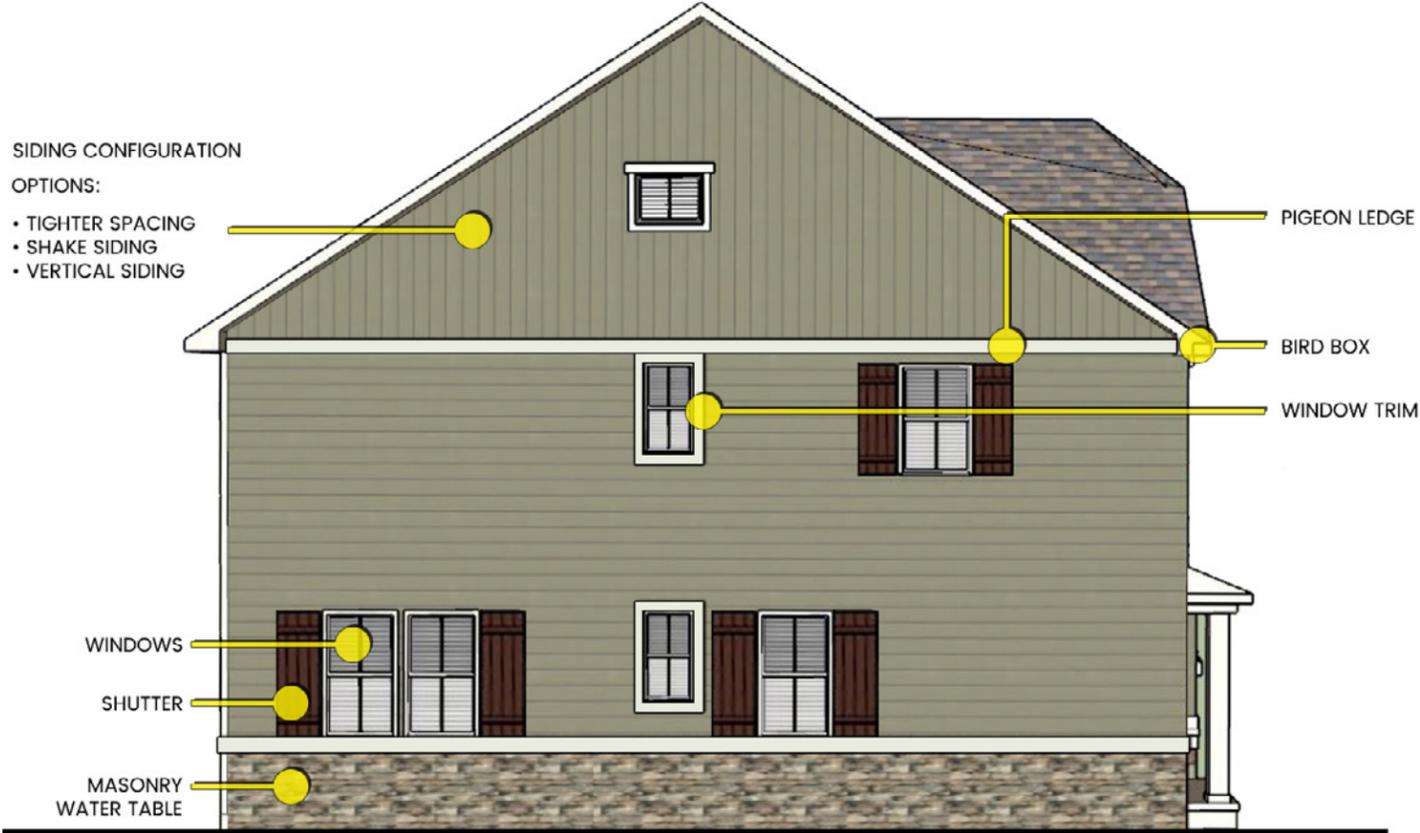
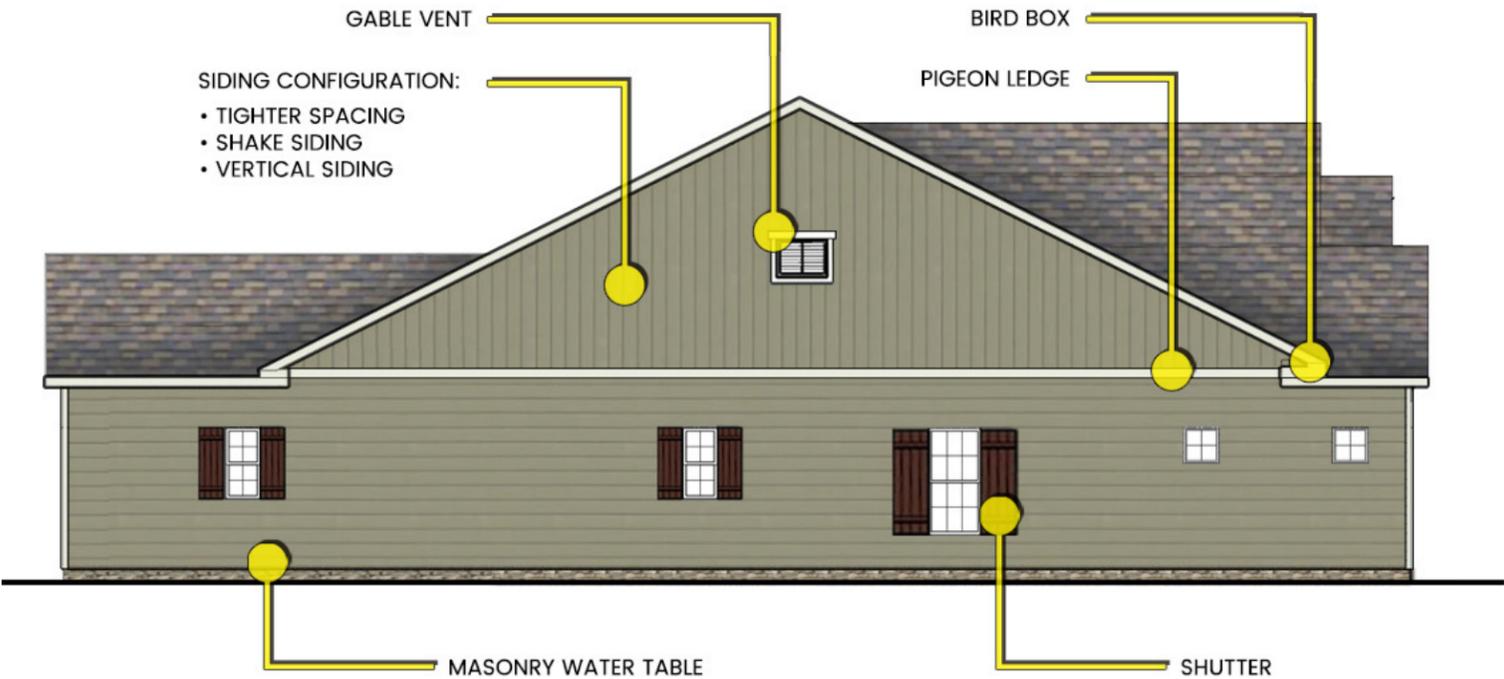
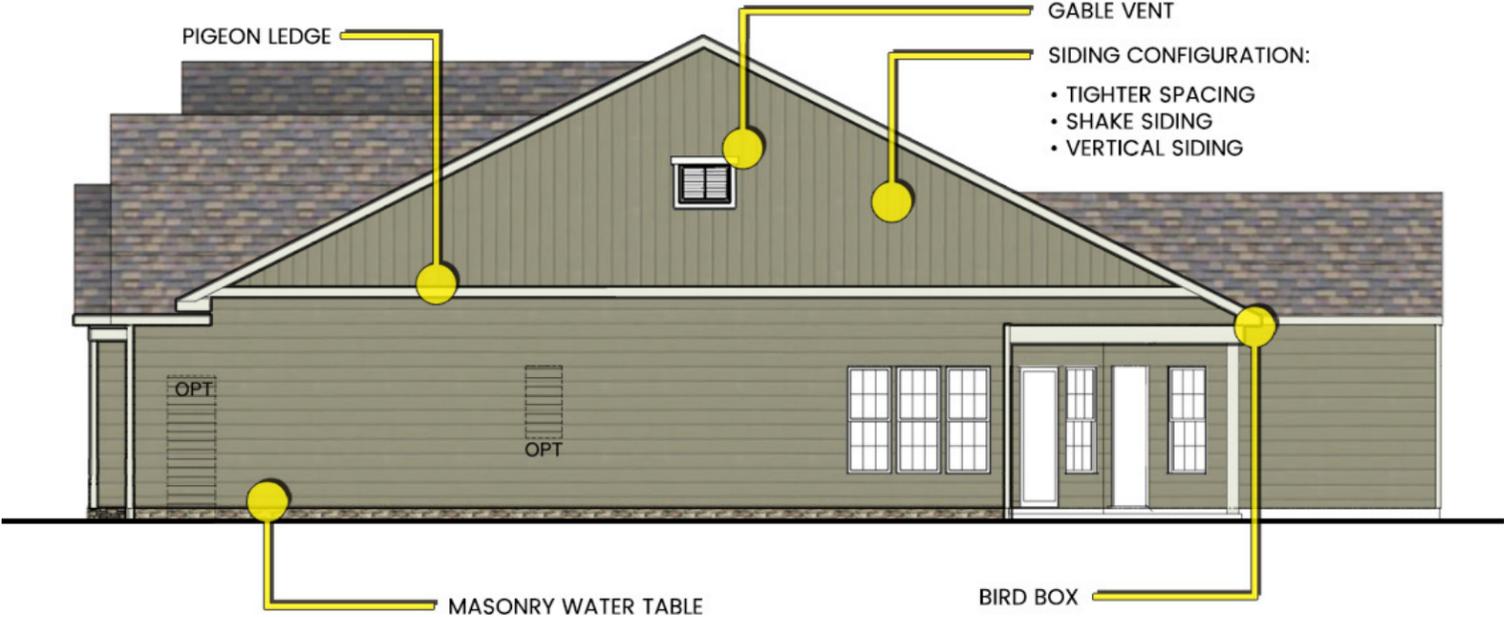
Single Family High Vis 1 Lots (HV1)

HV1 lots will be required to provide the masonry treatment illustrated below. Three (3) additional architectural treatments listed below must also be provided.

Features required:

- Masonry water table
- Shutters
- Trimmed windows
- Pigeon ledge, which is a break in building elevation running eave to eave.

- Bird box, which is a return on the eave. See example on page 16 of this guideline.
- Siding above pigeon ledge shall be architecturally different from main portion of the house.
 - Options include:
 - o Tighter spaced siding
 - o Shake siding
 - o Vertical siding
- A minimum of one optional feature shall be provided on each unit level.



1-Story Single Family Detached High Vis 1 Lots (HV1) Elevation Example

2-Story Single Family Detached High Vis 1 Lots (HV1) Elevation Example

HIGH VIS 2 LOTS; EXAMPLE OF ARCHITECTURE UPGRADES

Single Family High Vis 2 Lots (HV2)

HV2 lots will be required to provide the masonry treatment illustrated below. Three (3) additional architectural treatments listed below must also be provided.

Features required:

- Masonry façade treatment for first floor

Optional features:

- Storm shutters
- Trimmed windows
- Pigeon ledge, which is a break in building elevation running eave to eave.

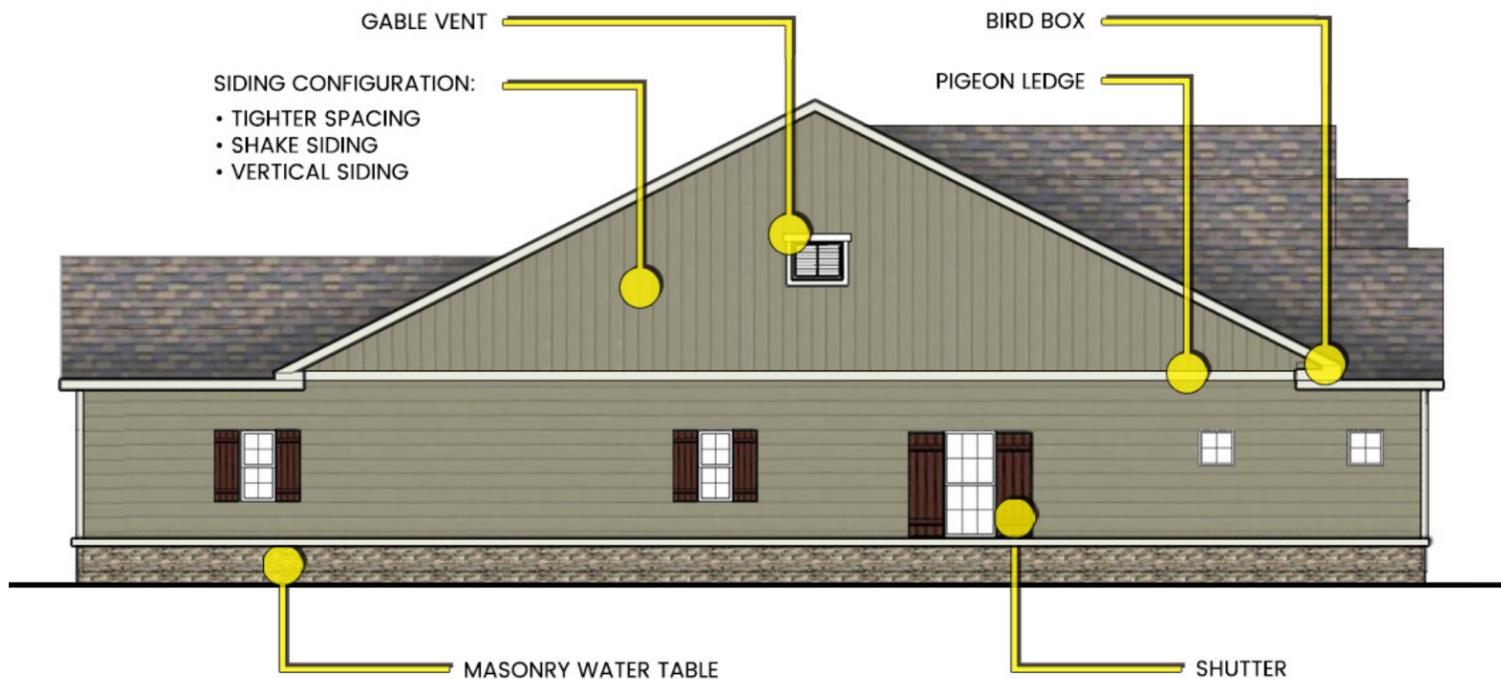
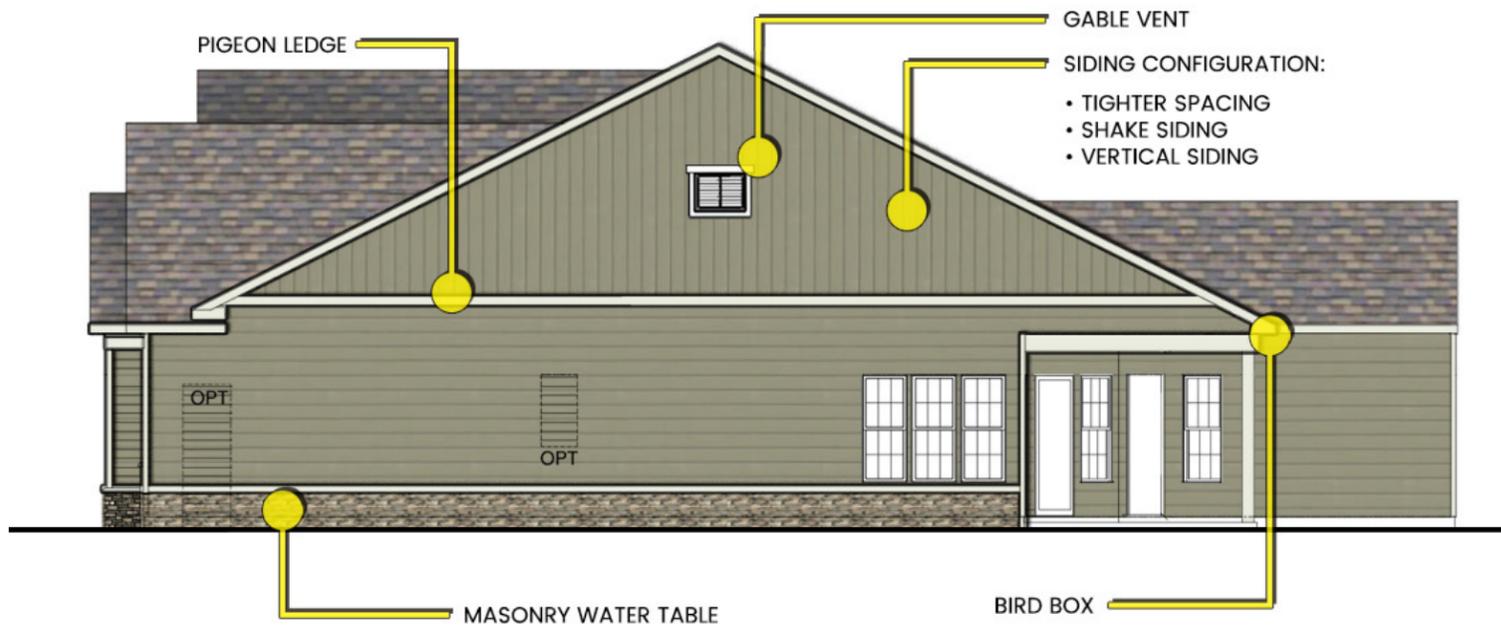
- Bird box, which is a break in building elevation running eave to eave. See the example on this page of this guideline

- Gable vent
- Gable trim
- Siding above pigeon ledge shall be architecturally different from main portion of the house.

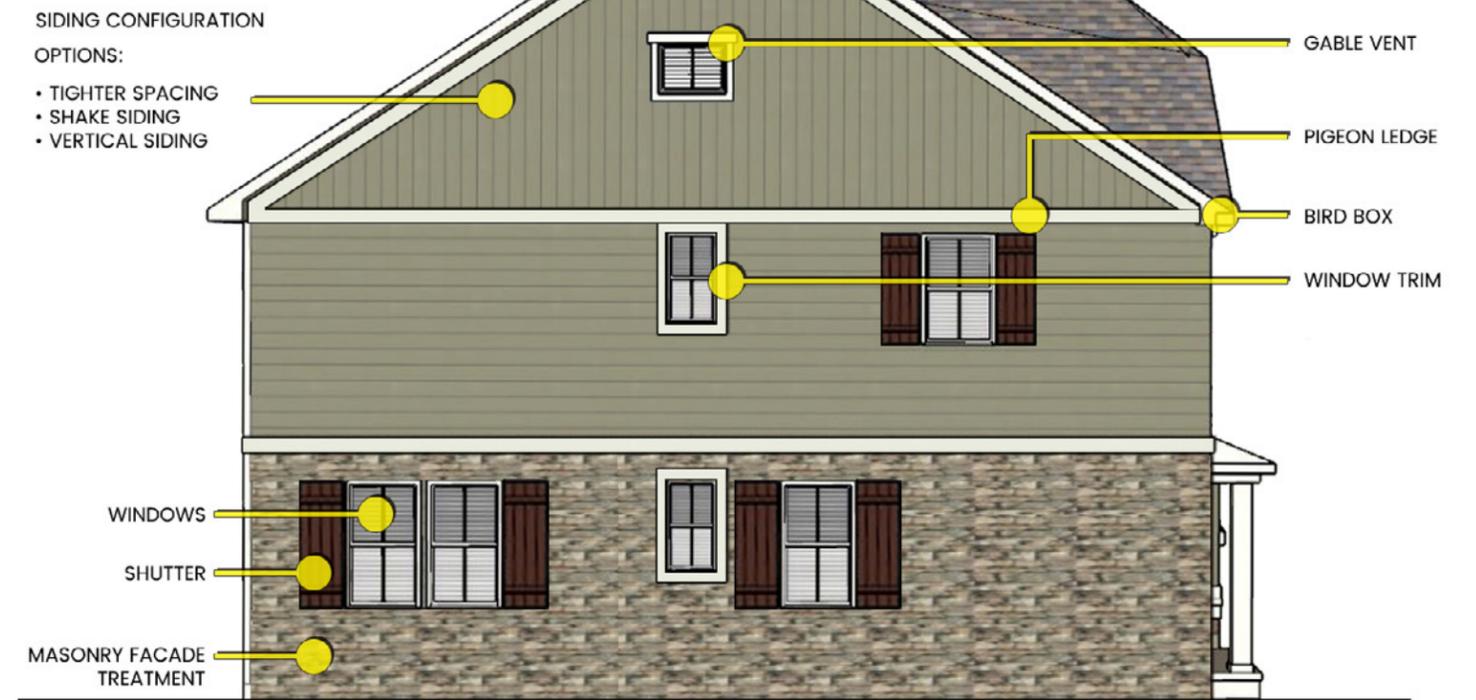
Options include:

- o Tighter spaced siding
- o Shake siding
- o Vertical siding

- A minimum of one optional feature shall be provided on each unit level.



1-Story Single Family Detached High Vis 2 Lots (HV2) Elevation Example



2-Story Single Family Detached High Vis 1 Lots (HV1) Elevation Example

ARCHITECTURE TREATMENTS AND MATERIALS

Walk Out Basements, Exposed Foundations, or Slab Treatments

Lots with walk out basements or exposed foundations, including front porch or stoops, shall be finished with an architectural CMU or stone material. Approved finishes included:

- Patterned form-liner; must also be painted to compliment architecture color scheme
- Stone or brick; must match the material being used as water table treatment
- Split-faced CMU block; color of block must compliment architecture color scheme

Zero barrier entry lots are housing designed to accommodate aging population and buyers with disabilities that affect mobility. To accommodate the need, these housing units limit architectural elements such as stoops and porches. Builders are encouraged to pull masonry materials up from the foundation to the bottom of the lowest window in the front façade across the entire front elevation. If a zero-barrier entry house is proposed on a high visibility lot, the application will be managed on a case-by-case basis with the developer.

Elevations and Materials

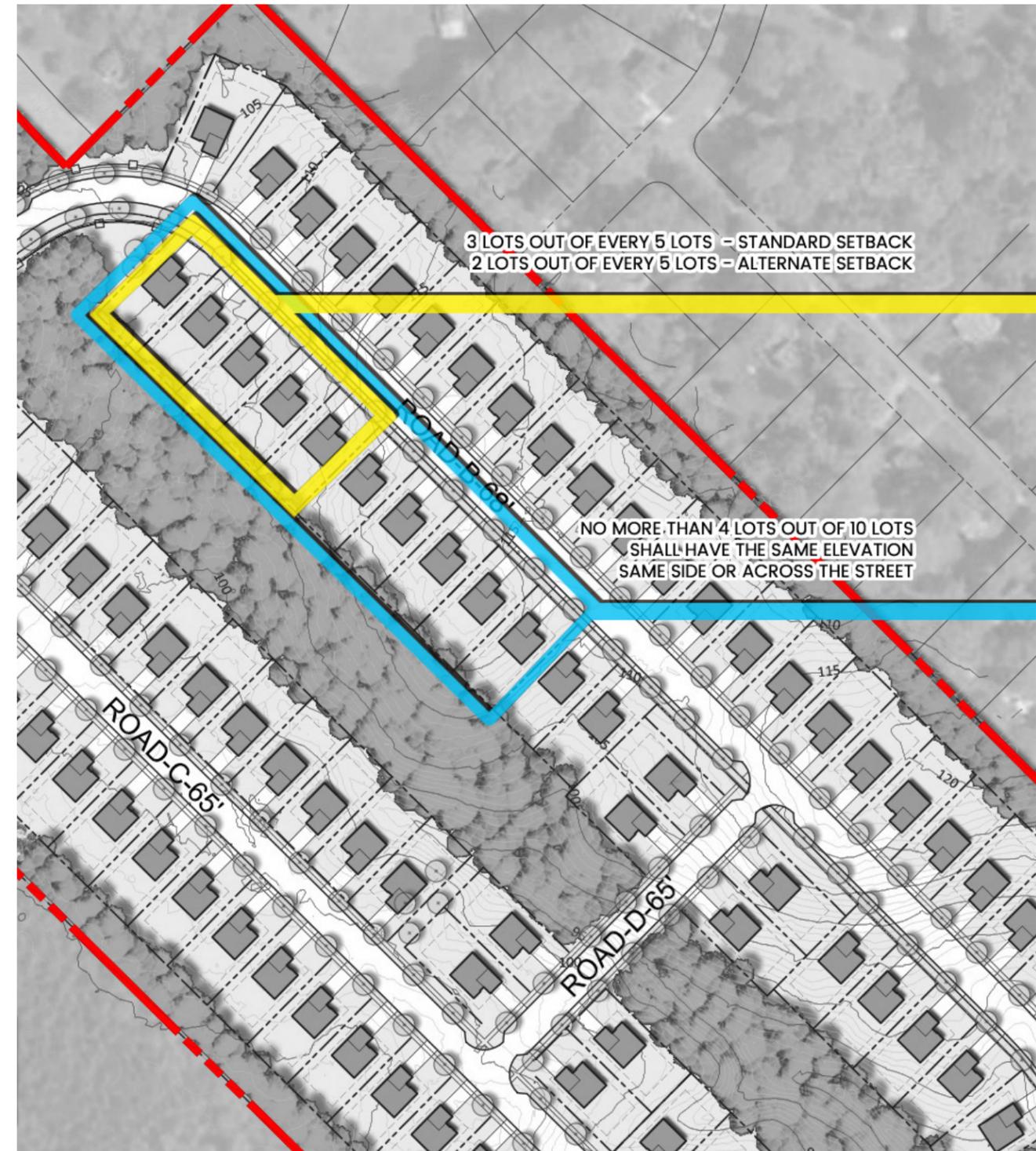
Creating a unique and diverse streetscape throughout Fenton Mill is a high priority; to continue pursuing this there will be limitations placed on the frequency and location of elevations that can be used on adjacent lots. The following guidelines shall be followed:

- Builder elevations will be reviewed and approved by the developer prior to construction to ensure a cohesive theme throughout the community.
- No more than 4 (four) out of every 10 (ten) continuous

lots can be the same elevation.

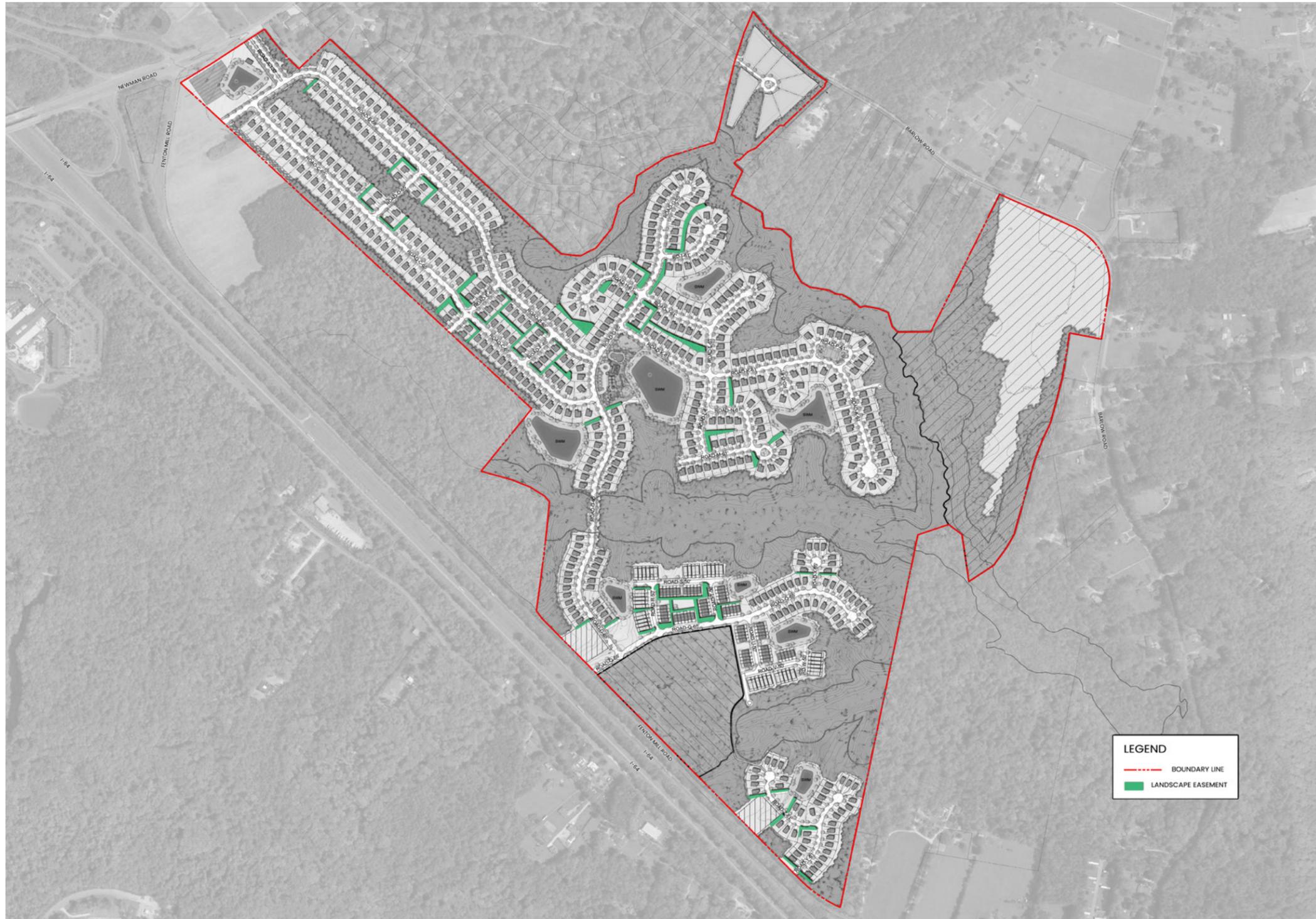
- Lots next to or across the street from each other can not be the same elevation.
- Accent materials shall be varied to create more differentiation between lots.
- 1 level models shall add architectural features to the road facing roof to break up vast roof planes.
- Lots shown within Architectural Zone A shall have architectural shingles.
- Architectural Zone A elevations garage doors shall not dominated the streetscape.
- Garage dominate elevations should utilize varying front yard setbacks and a mix of models and elevations to keep variety in the streetscape.

Traditional, high-quality and durable building materials shall be used throughout the community. Building materials shall meet all current Local, State, and Federal building codes and regulations.



Lot Setback and Elevation Guideline Example

FENCES, LANDSCAPING AND HVAC EQUIPMENT



Landscape Easement Exhibit

Fences

Fences will be permitted within the Fenton Mill community but must follow the guidelines below:

- Fence material shall be vinyl, wrought iron or aluminum. Fence style shall be approved by the developer prior to installation to ensure concurrence with community guidelines.
- Vinyl fencing must be white; including vinyl covered picket fencing.
- Maximum fence height shall be six (6) feet.
- Side yard fencing shall be a minimum of five (5) feet behind the front plane of the house.
- Corner lot fencing layout shall not extend beyond the front plane of the house on the perpendicular street.
- No front yard fencing shall be allowed.
- Fencing shall not be used to satisfy upgraded architectural requirements.

Landscaping

Lot landscaping and screening can add a lot of value and create an aesthetically pleasing streetscape throughout the community. The follow guidelines shall be considered:

- Foundation plantings must be included on every house prior to occupancy.
- Lots with walk-out basements or exposed foundations shall include landscaping to break up large architecture planes.
- Columnar or taller evergreens shall be used to “soften” the architecture.
- Corner lots or high vis lots shall have landscape buffers to screen rear or sides of houses from the street.
- Lots that back to other lots shall include landscaping at the rear of the property to create a visual screen between adjacent lots. Buffer shall be located outside drainage or utility easements.

HVAC Equipment

- High Vis 1 lots shall ensure the HVAC equipment is screened from view of the street with a fence or other opaque screen.
- No equipment shall be placed on the side of the house that abuts two public streets.

ARCHITECTURE: SINGLE FAMILY

THE architecture shown herein is a representation of builders' architecture that may be built in Fenton Mill, but does not represent the full sampling of architecture that may be provided.



Example of Single Family Architecture: HHHunt, Taylor, European A



STANLEY MARTIN
SK PENNINGTON

Example shown is a model; actual elevation will include a garage



STANLEY MARTIN
FX CROZET 2



STANLEY MARTIN
DM JACKSON



STANLEY MARTIN
SK PENNINGTON2

Example shown is a model; actual elevation will include a garage



STANLEY MARTIN
DH AUSTIN



STANLEY MARTIN
WH JACKSON



STANLEY MARTIN
FX PENNINGTON

Example shown is a model; actual elevation will include a garage



STANLEY MARTIN
DH BUCHANAN



STANLEY MARTIN
CHLOE A



STANLEY MARTIN
CHLOE D



STANLEY MARTIN
CHLOE G



STANLEY MARTIN
CHLOE B



STANLEY MARTIN
CHLOE E



STANLEY MARTIN
CHLOE H



STANLEY MARTIN
CHLOE C



STANLEY MARTIN
CHLOE F



STANLEY MARTIN
RANDALL A



STANLEY MARTIN
RANDALL B



STANLEY MARTIN
RANDALL K



HHHUNT
CHATHAM
BUNGALOW A



STANLEY MARTIN
RANDALL F



STANLEY MARTIN
JAYMES M



HHHUNT
CHATHAM
BUNGALOW B



STANLEY MARTIN
JAYMES L



STANLEY MARTIN
JAYMES N



HHHUNT
CHATHAM
BUNGALOW C



HHHUNT
CHATHAM
EUROPEAN A



HHHUNT
CHATHAM
HERITAGE D



HHHUNT
GRAYSON
EUROPEAN A



HHHUNT
CHATHAM
EUROPEAN B



HHHUNT
GRAYSON
BUNGALOW A



HHHUNT
GRAYSON
EUROPEAN B



HHHUNT
CHATHAM
HERITAGE B



HHHUNT
GRAYSON
BUNGALOW C



HHHUNT
GRAYSON
EUROPEAN C



HHHUNT
GRAYSON
HERITAGE A



HHHUNT
TAYLOR
BUNGALOW A



HHHUNT
BELLMORE EA



HHHUNT
GRAYSON
HERITAGE B



HHHUNT
TAYLOR
HERITAGE B



HHHUNT
BELLMORE HA



HHHUNT
GRAYSON
HERITAGE C



HHHUNT
BELLMORE BA



HHHUNT
BELLMORE HB



HHHUNT
CHANDLER BA



HHHUNT
CHANDLER HB



RYAN HOMES
PALLADIO RANCH



HHHUNT
CHANDLER EA



RYAN HOMES
HUDSON



RYAN HOMES
ALLEGHENY



HHHUNT
CHANDLER HA



RYAN HOMES
LEHIGH



RYAN HOMES
BEAMANTE RANCH



RYAN HOMES
BRAMANTE RANCH



RYAN HOMES
SENECA



RYAN HOMES
LILY K



RYAN HOMES
COLUMBIA



RYAN HOMES
ST LAWRENCE



RYAN HOMES
LILY L



RYAN HOMES
GENOA



RYAN HOMES
YORK



RYAN HOMES
IRIS L

SINGLE FAMILY ATTACHED LOTS GUIDELINES

"The architecture shown herein is a representation of builders' architecture that may be built in Fenton Mill, but does not represent the full sampling of architecture or builders that may be provided within the community."

In a development like Fenton Mill it is important to capture a broad buyer group including new buyers, upgrade buyers, move-down buyers, etc. Fenton Mill is offering 2 single-family attached minimum lot sizes within the community.

The typical lot sizes include:

28'x106' (28' Lots) = 10,500 square feet

*24'x90' (24' – 20' lots) = interior lot: 2,160 square feet; end-unit lot: 2,745 square feet

*Townhome lots may be reduced to 20' wide; however total number of townhomes will NOT be increased.

Setbacks

To create a more interesting and unique streetscape the lot setbacks will be required to vary from adjacent lots. Typical setbacks are as follows:

28' Lots (70'x150') building restrictions (BRL)

Typical front yard: 20 feet minimum

Side yard: 6 feet minimum; 20' minimum building separation between buildings

Rear yard: 15 feet minimum

24' – 20' Lots (60'x120') building restrictions (BRL)

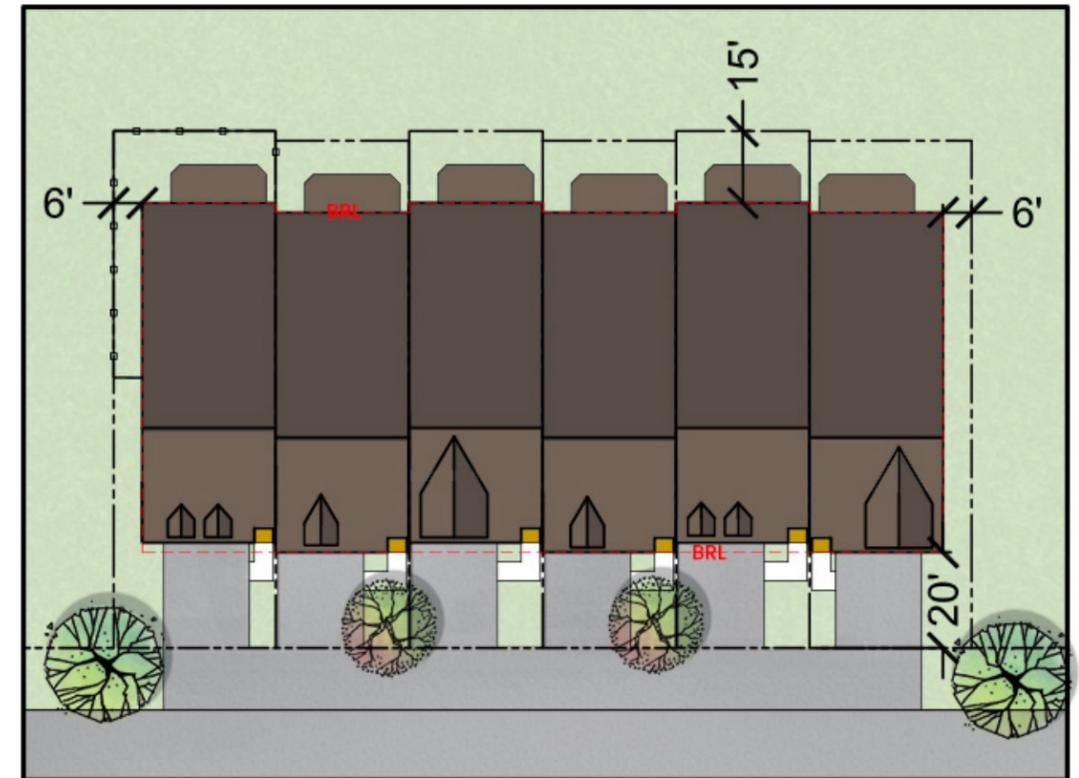
Typical front yard: 20 feet minimum

Side yard: 6 feet minimum; 20' minimum building separation between buildings

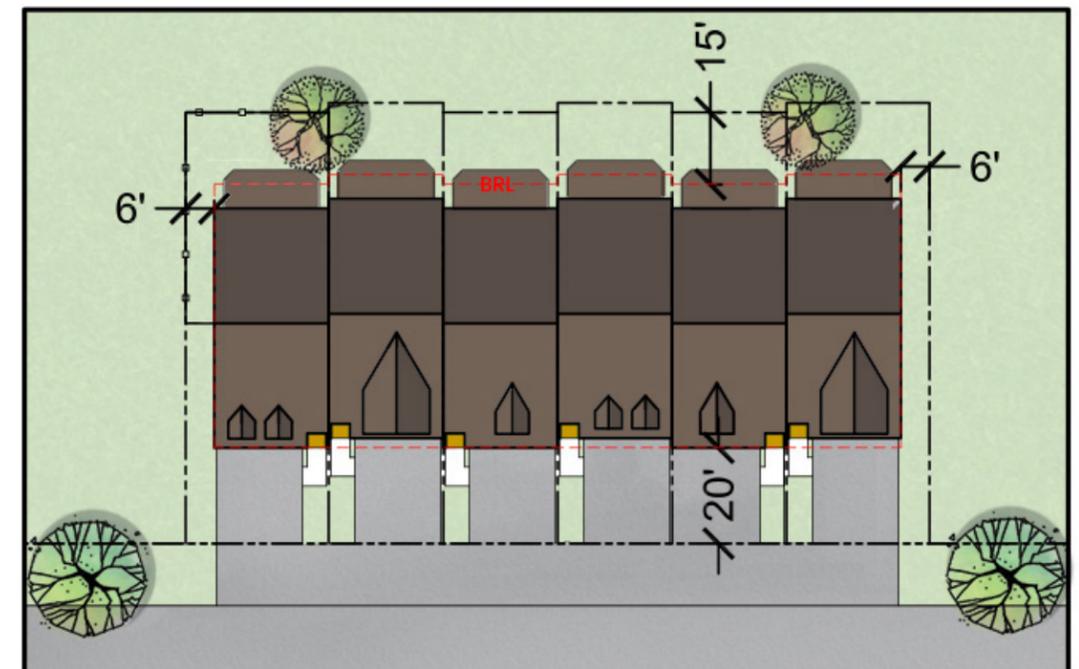
Rear yard: 15 feet minimum

Setback Guidelines:

- Every other lot shall be staggered by two (2) feet.
- The two (2) alternate setback lots must be separated by a Typical front yard setback lot.
- Architectural features such as front porches, bay windows or bumps outs will NOT be allowed to encroach over the front yard BRL.



Typical 28' lot Setback

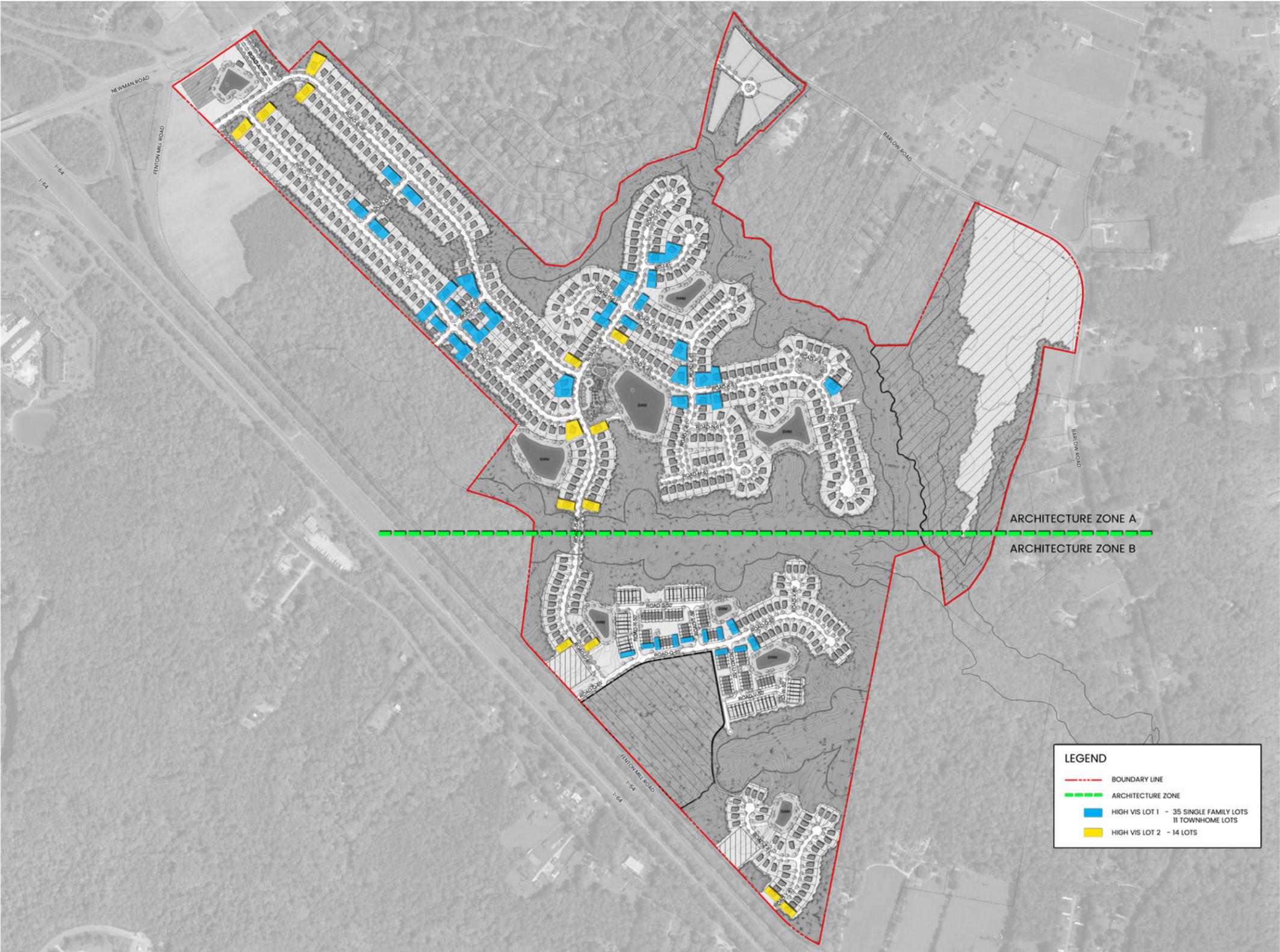


Typical 24' Lot Setback

ARCHITECTURE TREATMENT AND MATERIALS

Single Family Attached (SFA) Highly Visible Lots (HV)

Lots on prominent corners will be designated as High Vis or "HV" lots. These lots will be required to have upgraded architectural features on the facades that face the community entrance, street, end/corner lots, or high traveled areas. Required architectural upgrades will be outlined in this section.



Overall High Vis Lot Map

HIGH VIS 1 LOTS; EXAMPLE OF ARCHITECTURE UPGRADES

Features to be included on these lots are outlined below:

Single Family Attached High Vis 1 Lots (HV1)

HV1 lots will be required to provide masonry treatment illustrated below AND three (3) additional treatments.

Features required:

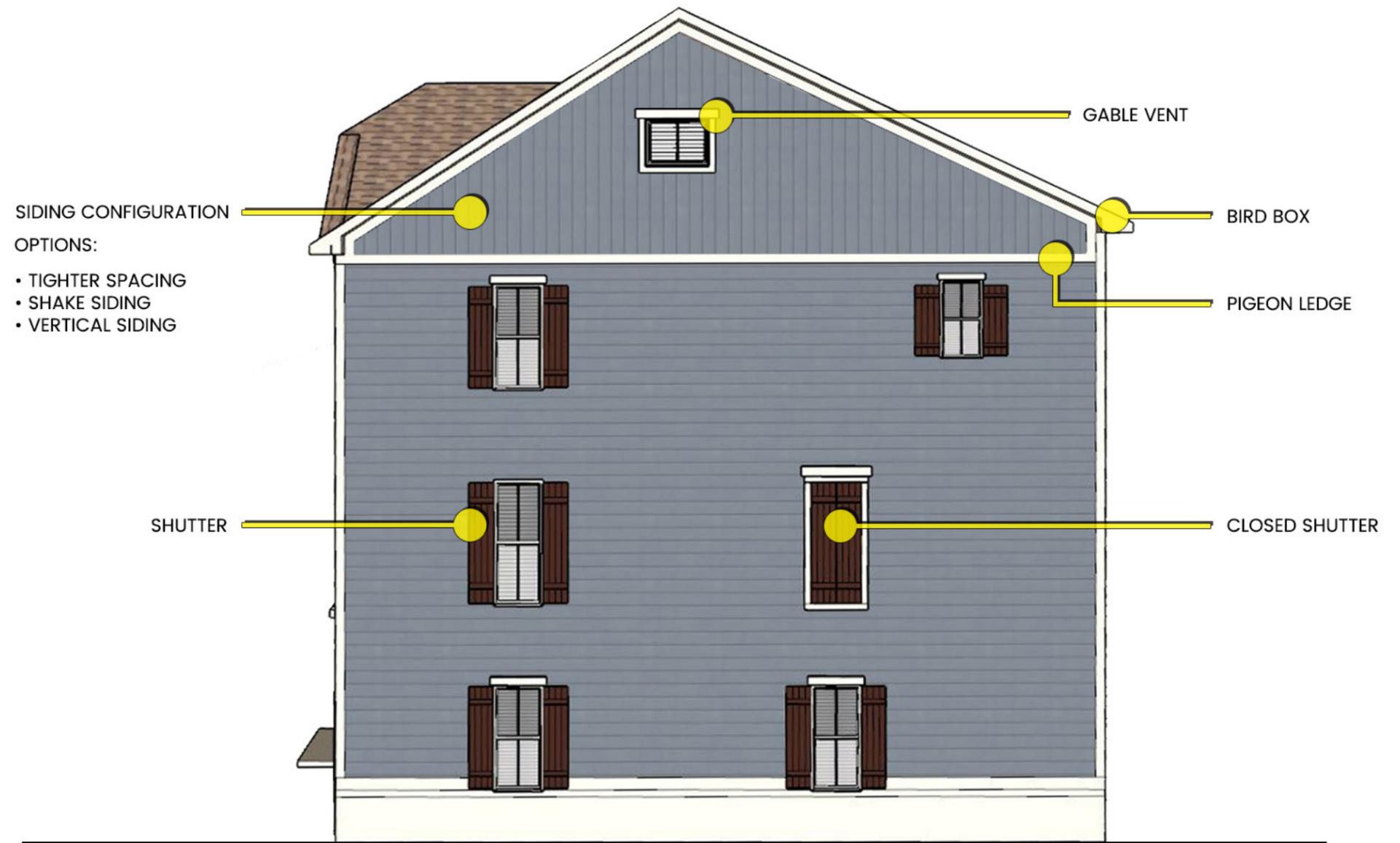
- Masonry water table

Optional features:

- Storm shutters
- Trimmed windows with storm shutters
- Pigeon ledge, which is a break in building elevation running eave to eave. See below
- Bird box, which is a return on the eave. See below
- Gable vent
- Gable trim
- Siding above pigeon ledge shall be architecturally different from main portion of the house.

Options include:

- o Tighter spaced siding
- o Shake siding
- o Vertical siding



Single Family Attached High Vis 1 Lots (HV1) Elevation Example

FENCES, LANDSCAPING AND HVAC EQUIPMENT

Walk Out Basements, Exposed Foundations, or Slab Treatments

Lots with walk out basements or exposed foundations, including front porch or stoops, shall be finished with an architectural CMU or stone material. Approved finishes included:

- Patterned form-liner; must also be painted to compliment architecture color scheme
- Stone or brick; must match the material being used as water table treatment
- Split-faced CMU block; color of block must compliment architecture color scheme

Elevations and Materials

Creating a unique and diverse streetscape throughout Fenton Mill is a high priority; to continue pursuing this there will be limitations placed on the frequency and location of elevations that can be used on adjacent lots. The following guidelines shall be followed:

- Builder elevations will be reviewed and approved by the developer prior to construction to ensure a cohesive theme throughout the community.
- Townhouse “buildings” of 4 or more: No more than 2 (two) single-family attached unit can be the same model or elevation; including end units of separate “buildings”.
- Similar elevation must be separated by at least two (2) different elevations.
- Accent materials shall be varied to create more differentiation between elevations or “buildings”.

Traditional, high-quality and durable building materials shall be used throughout the community. Building materials shall

meet all current Local, State, and Federal building codes and regulations. Materials include:

- Brick; includes painted brick
- Natural stone
- Stone veneer
- High quality vinyl siding
- Cement or fiber board siding

Fencing, Landscaping and HVAC Equipment

Fences

- Fences will be permitted within the Fenton Mill community but must follow the guidelines below:
- Fence material shall be vinyl, wrought iron or aluminum. Fence style shall be approved by the developer prior to installation to ensure concurrence with community guidelines.
- Vinyl fencing must be white.
- Maximum fence height shall be six (6) feet.
- For end units side yard fencing shall not extend beyond the middle point of the house.
- Corner lot fencing layout shall be reviewed on a case by case basis to determine the appropriate fence location.
- No front yard fencing shall be allowed.
- Fencing shall not be used to satisfy upgraded architectural requirements.

Landscaping

Lot landscaping and screening can add a lot of value and create an aesthetically pleasing streetscape through-out the community. The follow guidelines shall be considered:

- Foundation plantings must be included on every house once constructed.
- Lots with walk-out basements or exposed foundations shall

include landscaping to break up large architecture planes.

- Columnar or taller evergreens shall be used to “soften” the architecture.
- Corner lots or high vis lots shall have landscape buffers to screen rear or sides of houses from the street.
- Lots that back to other lots shall include landscaping at the rear of the property to create a visual screen between adjacent lots. Buffers shall be located outside of drainage and utility easements.

HVAC Equipment

- HVAC units shall be placed in the rear yard.
- High Vis 1 lots shall ensure the HVAC equipment is screened from view of the street with a fence or other opaque screen.
- No equipment shall be placed on the side of end units.

Landscaping and HVAC Equipment Example



ARCHITECTURE: TOWNHOMES

THE architecture shown herein is a representation of builders' architecture that may be built in Fenton Mill, but does not represent the full sampling of architecture that may be provided.



Example of Townhome Architecture: HHHunt, Davenport, Farmhouse B



HHHUNT
AUGUSTA D



HHHUNT
BELMONT B



HHHUNT
DAVENPORT
FARMHOUSE A



HHHUNT
DAVENPORT
FARMHOUSE B



HHHUNT
DAVENPORT
FARMHOUSE C



HHHUNT
DAVENPORT
FARMHOUSE D



STANLEY MARTIN
ARMFIELD E,F,G,H,J



STANLEY MARTIN
BALFOUR B,C,D,L,M



STANLEY MARTIN
BALFOUR E,M,F



STANLEY MARTIN
MONROE E,F,G,H



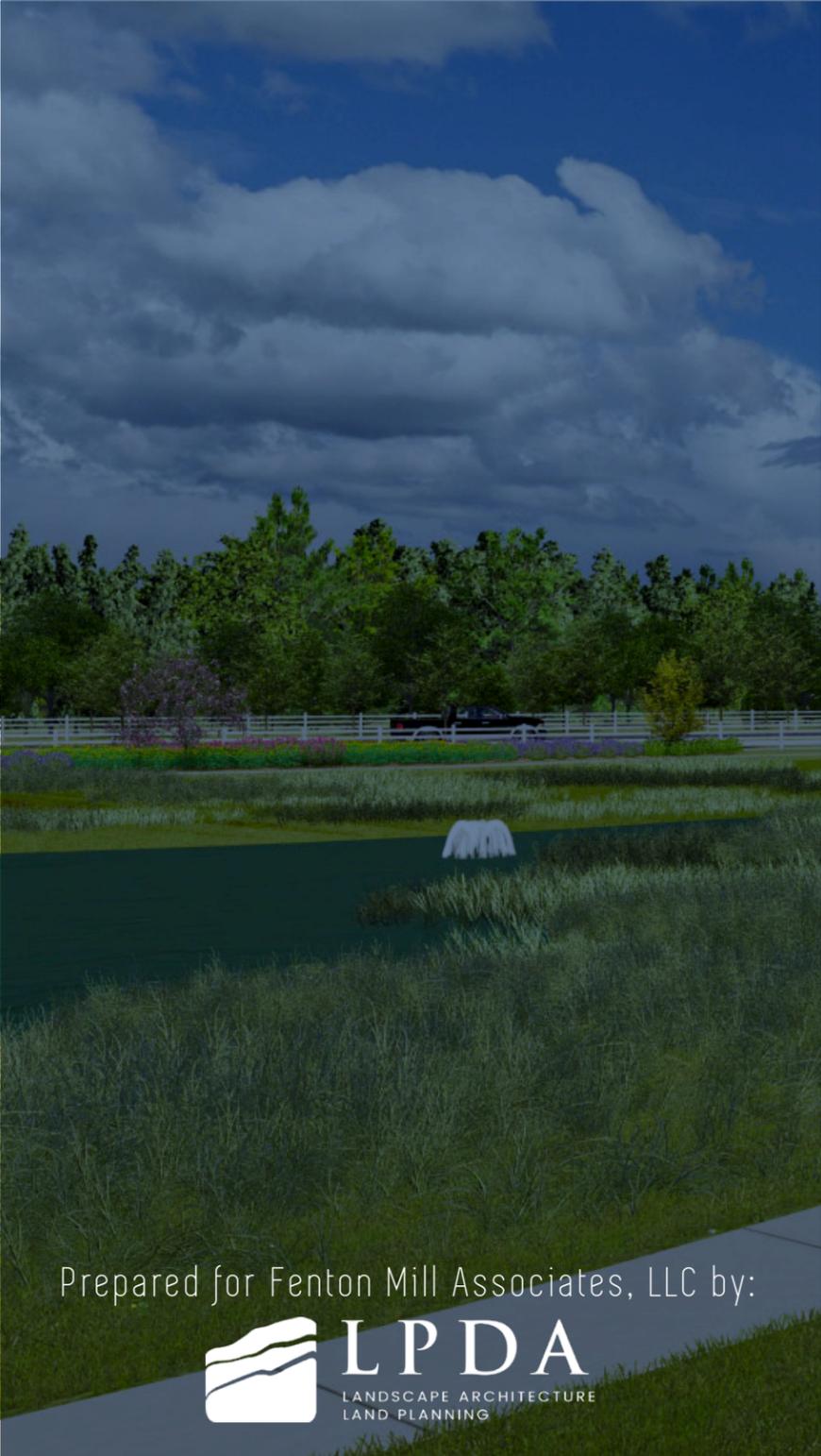
RYAN HOMES
CALVERT



RYAN HOMES
COMPOSER II
3 STORY FL



RYAN HOMES
GRIFFIN HALL FL



Prepared for Fenton Mill Associates, LLC by:



Community entrance sign perspective.