

AGENDA
Historic Yorktown Design Committee

Virtual Meeting
Zoom
May 20, 2020
7:00 PM

NOTE: THIS ELECTRONIC REMOTE MEETING IS BEING HELD PURSUANT TO AND IN COMPLIANCE WITH ORDINANCE NO. 20-11, ADOPTED BY THE YORK COUNTY BOARD OF SUPERVISORS APRIL 21, 2020, PERTAINING TO THE CONTINUITY OF COUNTY OPERATIONS ASSOCIATED WITH THE COVID-19 PANDEMIC DISASTER. THIS MEETING WILL BE CLOSED TO IN-PERSON PARTICIPATION BY THE PUBLIC. PUBLIC HEARING COMMENTS CAN BE MADE BY PARTICIPATING IN THE ZOOM MEETING AND CONTACTING EARL W. ANDERSON AT 757-890-3497 OR BY EMAIL AT ANDERSONE@YORKCOUNTY.GOV.

1. Call to Order
2. Roll Call
3. New Business
 - a. Election of Officers
4. Approval of Minutes
 - a. **February 19, 2020 meeting**
5. Old Business
6. Applications for Certificates of Appropriateness
 - a. **Application No. HYDC-174-20, Apostolos Demetry, 220 Church Street**
 - b. **Application No. HYDC-173-20, Veronica W. and Michael D. Lulofs, 210 Smith Street**
7. Reports / Member Concerns
8. Adjourn

Historic Yorktown Design Committee

Minutes

February 19, 2020
East Room
York Hall
301 Main Street
Yorktown, Virginia

Members Attending: Jose Longoria
Belinda Willis, alternate – voting member

Staff Attending: Earl W. Anderson, AICP

Mr. Longoria called the meeting to order at 7:00 PM.

Minutes

The minutes of the September 18, 2019 meeting were approved unanimously.

Old Business

None

New Business

Application No. HYDC-171-20, Larry's Lemonade, 524 Water Street

Mr. Anderson stated that this application, submitted by Larry's Lemonade, seeks approval for the replacement of the four front windows with roll up windows at 524 Water Street. The applicant moved into the structure in the beginning of May 2018. The use was authorized, pursuant to the terms of the YVA-Yorktown Village Activity District. The structure was built in 1949 and is considered a Non-Contributing Building. The Committee previously approved signage for the business.

Staff recommends approval of the new roll up windows with design and specifications/details as submitted by the applicant, with the following proposed condition:

1. All hardware used to install the roll up windows will be painted black and hidden within the structure of the building, so as not to be visible from Water Street.

Mr. Anderson noted that Mr. Hodson sent in a written comment saying that his only concern is that the open look brings the "inside of the building out." He admitted that he has not been in there in a while, but at one point the interior color palette was very strong and not consistent with a more muted Yorktown color palette. He stated that although the interiors are not really in the purview of the Committee, he wanted to note his thoughts for consideration.

Victor Reynolds, the owner of Larry's Lemonade expressed that he has been renovating the inside of the structure and has removed the bright colors. He said was pleased to find that once the drywall and ceiling tiles were removed that the building had a very nice look that he wanted to preserve. He said that he was planning to use neutral tone colors on the inside to give the building a Civil War or Revolutionary era look. He apologized for the picture with the trash on the outside. He stated that changes have been implemented and staff will take trash directly to the dumpster. He said that he will be putting in a bike rack and some landscaping on the right side of the building.

Mr. Longoria said he was trying to focus on the windows, but was distracted by the trash and was glad to hear that a change was going to be made. He asked if the bike rack would be okay.

Mr. Anderson explained that bike racks are encouraged for Yorktown to help promote biking.

Mr. Longoria said the windows look good, but asked if you will be able to tell that they roll up from the outside.

Mr. Reynolds said that it should not be evident when they are closed that they roll up from the outside, he added they will look like panes of glass. He stated there will be four panes per row. He said there are four twenty-one inch and two eighteen inch double pane windows in each section to help with the air control. He noted the ceiling and the hardware will be painted black to blend in.

Mrs. Tenley Raithel asked if you would be able to hear music playing inside the building on the beach.

Mr. Reynolds stated no, that he had no intention of playing music that loud, so it could be heard outside of the building. He noted that if he ever decided to have live music, it would be inside with the windows closed and would not go past 9:00 pm.

Mrs. Beverly Krams said she was concerned with music coming up the bluff to her property.

Mr. Reynolds said acoustically the music would not travel up the hill. He said it could go forward, but there is nothing to bounce it back up the hill.

Mrs. Krams said that the music does travel up and she can hear what gets played at the Pub. She said her bedroom is on the Pub side and when music is played at 2:00 a.m., she can hear it. She added that the Pub's windows are fixed and cannot be opened which helps muffle the sound. She said if they ever open the windows, she would not be able to talk on her porch or sleep in her bed. She asked why anyone would want garage door windows in historic Yorktown with a Revolutionary era interior instead of something more appropriate to the beach. She stated that the County has said it is appropriate to the waterfront, but that is not why the Design Guidelines were established and added it was to protect the character of the village, its historic significance, and contributing homes like hers. She questioned why York County would advocate and say this is beachy and why are they not talking about her home or the preservation of the character and historical significance of Yorktown. She said that when she looks out of her house to the water, she sees everything that Larry's is doing - from the yellow umbrellas to the trash. She added that the guidelines were created to protect the village and the homes in it - their biggest investment.

She added that she is all for the business, but not the garage door look and noted she does not want to hear music, people laughing, and loud talking inside.

Mr. Reynolds said he wants to be a good steward and clarified more would be heard from a passing car than from the inside of the restaurant.

Mrs. Krams expressed that she hears the cars; however, unless they write something to prevent having loud music, you could have a live band in there tomorrow.

Mr. Reynolds remarked that he would have to change his Yorktown Village Activity permit to have a band, but he does not want a band.

Mrs. Krams asked if the Pub has a permit.

Mr. Anderson clarified that the Pub is more than likely grandfathered in being allowed to have live music.

Ms. Harding asked to see where Mrs. Krams house was in relation to Larry's. Mr. Anderson showed the picture.

Mr. Reynolds stated he considered the housing on the bluff and is only requesting the windows in the front and not the ones on the sides, as he did not want to impact those homes and noted that he does not want to have live music.

Mrs. Krams said she cannot do anything about York County wanting to play music down at the Riverwalk, but Larry's is a private business and has to meet the sound standards. She stated that she loves Yorktown and when businesses come to Yorktown they should try to maintain the historical character of the village. She said that people coming down the beach are not going to think that garage doors are historical.

Mr. Reynolds remarked that they are double-paned windows and not garage doors.

Mrs. Krams stated that it was a term Mr. Anderson used and noted that he also said the building has been renovated several times and is not a historical structure. She said that some people might say to her that her house is not historical and she would agree. She stated that the Design Guidelines were put in place twenty years ago to protect the village for what is coming now and the County keeps making exceptions to it, which defeats the purpose. She asked if they considered doing something like the Pub.

Mr. Reynolds said that he did not want to be like the Pub; he wanted them to be like Larry's. He said that he wants to be a good steward and will comply. He added that for the record, he will not have live bands because he does not want to stay open that late and he has no intentions of pursuing a liquor license.

Mrs. Krams said she has a 100 pages of zoning that no one else in York County has and a group of non-elected people who can make decisions about her property. She said those people should go by the rules.

Mr. Raithel remarked that he lives up the steps and just a couple homes down the road from Mrs. Krams. He said these meetings are an education for him. He asked if Larry's was in the historic district.

Mr. Anderson expressed that it is in the waterfront area of the historic district.

Mr. Raithel asked if they are asking for waiver. He said that he cannot imagine with the history of the village, allowing roll up windows. He supports the business, but thinks the restaurant should reflect the history and environment.

Mr. Anderson said that is the reason that this is before the Committee. He added that the windows are not addressed in the Design Guidelines, which requires the Committee to review and either approve or disapprove the installation of the windows.

Mr. Raithel remarked that he understands the difficult situation of wanting to be current at the waterfront and at the same time maintaining the history. He stated that he appreciated Mr. Reynolds saying the trash was not going to be allowed on the side of the building any longer and noted he heard people say, as they came up and down the stairs, how they would not eat there because of it. He said he has looked through the Design Guidelines and he did not see these kinds of windows. He added that it needs a waiver and would support this change.

Mr. Anderson clarified that the Design Guidelines are guidelines and not hard and fast rules, and noted certain applications come before the Committee for interpretation. He said the current building has single-pane glass and he is proposing divided panes, which are more historic in nature. He said the Committee has the opportunity to add conditions to their approvals that an applicant would need to do to complete any project that was approved and noted if the Committee wished to place a constraint on the windows being closed at a certain time or that any music could not be heard from the street, then they could do that as a condition.

Mr. Reynolds added that eventually he would like to replace the outside lights with ones similar to the ones on the Black Dog Gallery. He said when researching these lights he saw several pubs that were industrial looking and did not have windows open to the outside. He said the windows will be powder-coated black and will look nice and added the inside will have more subdued colors. He stated that he is a history nut and wants it be historical and noted that based on the pictures he has seen, the open look is historical.

Ms. Harding said with the windows open the air conditioning bill will increase and asked about the extra costs.

Mr. Reynolds said he loves the look and he thinks people will love the look and feel too, so he is willing to eat the cost to have the windows roll up.

Mr. Jack Davis explained that he thought this proposal was to have someone be able to walk up to the window from the beach and order food from the window.

Mr. Reynolds clarified that no, patrons would have to walk into the restaurant to order. He said that in front of the windows, he is putting up a shelf area for people to sit and eat. He explained food can be ordered from the inside counter and then a seat taken. He said when the order number is called, food can be picked up from the counter. He added many lessons were learned having been at the beach these last two years.

Mrs. Krams asked what the plans for the left-hand side are.

Mr. Reynolds said the old wooden tables that were inside will be weather sealed and used as the patio furniture. He said the outdoor speakers were removed on that side because of the extent of the volume.

Mrs. Krams asked how many tables there will be and if the banana colored umbrellas will still be used.

Mr. Reynolds said he likes the umbrellas.

Mrs. Willis clarified that the outside area and umbrellas are not on the agenda for tonight.

Mrs. Krams said she understood and explained that she just wanted clarification about what would be outside.

Mr. Reynolds stated that the yellow was for branding purposes, as a new place wants to stand out a little bit at the beginning. He said the branding has gone well and now he is moving away from using those colors.

Mrs. Willis moved approval of the application to find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

1. All hardware used to install the roll up windows will be painted black and hidden within the structure of the building, so as not to be visible from Water Street.
2. The interior walls shall be a natural color or a color from the Yorktown palette.
3. The roll up windows shall be closed if live music is playing inside the building.

Mr. Reynolds ask for clarification if the radio is on and the Committee agreed to allow the music on, but there was concern with live music. He further clarified that he does not ever see the restaurant being opened past 11:00 pm.

Mr. Longoria agreed that it is hard to balance the need to be a successful business and the historical guidelines.

By voice vote, the motion was approved unanimously.

Application No. HYDC-172-20, County of York, 425 Water Street

Mr. Anderson stated that this application, submitted by the County of York, requests approval of the design and architectural features of a new building proposed to replace the existing Dockmaster

Building and Public Restrooms at the intersection of Water Street and Ballard Street. The proposed two-story structure would support the activities of five County operations in addition to providing ADA accessible public restrooms. These operations include the Riverwalk Landing Pier Operations, Parking Services, Ambassador Services, Freight Shed Logistics, and Event Logistical Support. Additionally, the Dockmaster Building would serve as a lost and found location, the Mobi-Chair checkout station, first aid station, year-round event command and serve as the sole location for visitors to gain information from a County representative, at the Yorktown Waterfront. The proposed construction would be brick with roof materials of synthetic slate shingles. The project also proposes signs for the Dockmaster's office and the restrooms. Five double-sided signs would hang from wrought iron brackets and are approximately eleven inches by nine inches. Two other signs would be mounted in the alcove for the restrooms and are approximately sixteen inches by six inches. The sign design would be black and white with a decorative lettering. He referenced the memorandum and the comments within.

In staff's opinion, the proposed construction is consistent, subject to certain conditions, with the Design Guidelines and with the character of surrounding structures and the Waterfront sub-district. Staff believes that the proposal is well conceived and will represent a significant improvement to this segment of Water Street and provide much need services and working space on the waterfront. Accordingly, staff recommends that the Committee find it consistent with the Yorktown Design Guidelines, subject to the following conditions:

1. The architectural design and features shall be consistent with the conceptual renderings entitled "Dockmaster's Building" prepared by James River Architects, and dated January 24, 2020.
2. A cementitious siding shall be used instead of the proposed cellular PVC siding. Siding and trim applications shall be in accordance with the dimensional and specifications set forth in the Design Guidelines.
3. The brick and mortar colors shall match the brick and mortar colors used within the Riverwalk development.
4. All doors, siding, fencing, and shutters shall match a color from the Yorktown Color Palette and be compatible with the wall and trim colors used on the building.
5. Color samples for both the cement shingles and roof shingles shall be submitted to and approved by the Zoning Administrator before installation.
6. If any vents are installed in the roof they shall be painted to blend with the roof shingle color.
7. The use or placement of television antennas or building-mounted satellite dishes visible from public rights-of-way, the river or adjacent properties shall be prohibited.
8. Fencing around the outside mechanical equipment shall completely screened from view and evergreen landscaping shall be added to provide additional screening.
9. The sign shall conform to the design, materials specifications and color scheme depicted on plans submitted with the application.
10. The sign brackets shall be black or some other matching color.

Mr. Anderson also showed pictures with the model superimposed to show the approximate height as you come down Ballard Street toward the beach.

Mrs. Willis asked why the architects were not able to be present.

Mr. Anderson remarked that the architect had a prior commitment tonight at the Freight Shed.

Mrs. Willis expressed that she has a lot of concerns with the building. She stated the size is too large and does not blend in with the landscape or waterfront. She said that the viewshed of the river was not protected per the Design Guidelines for the residents or visitors coming down Ballard Street. She stated with the cupola, there is a net sixteen feet difference, so the building is excessively high compared to other buildings along the waterfront and does not respect those existing heights. She noted that in one case, the building will obliterate the view corridor for one Chischiak Watch resident. Additionally, she said that the use of PVC was highly discouraged, so an exception should not be made for the County.

Mr. Anderson clarified that he did add a condition to not allow the PVC.

Mrs. Willis asked if the fencing around the HVAC would be wood.

Mr. Anderson said the County is proposing that composite plastic lumber wood be used and added it would be similar to what has been used for the Freight Shed Auxiliary building. He noted wood deteriorates too quickly on the beachfront.

Mrs. Willis said that the Committee did not allow Barbara Luck to use PVC, when Barbara asked for it, so she did not feel the County should be allowed to use it. She stated that the structure is not architecturally compatible with the historic district because it looks like a barn. She asked why the two large rooms on the second floor - logistics and lounge - are needed in the two story building. She has not been staff with York County for a while, so things might have changed. She said the building is also not in scale with other buildings. She said the memorandum notes the closest building is the Duke of York, but the Freight Shed is nearby, as is Larry's Lemonade, and the Pub. She added the proposed building will overwhelm those buildings and did not think the building was appropriate.

Mr. Anderson asked if there were any questions he could answer to help alleviate those concerns.

Mrs. Willis said there were not.

Mr. Longoria remarked that everything Mrs. Willis said is basically a collation of the inputs that have been brought forward from various parties, along with comments from Mr. Hodson's email. He said when you walk down the beachfront and look at the other buildings along the river, this building does not look like any of these other buildings. He noted the buildings in Riverwalk have false second floors. He agrees that the new bathrooms that are ADA compliant are much needed; however, with having these other spaces the size of this building, it does not fit in with the other buildings on the riverfront. He said the building is going to stick out and agrees with Mrs. Willis that it will look like a barn. He asked if there would be staff at the building year round.

Mr. Anderson explained that as he understood it, the Tourism Division would be staffing the visitor center and the Ambassadors would be using the building.

Mr. Longoria asked where personnel is housed at now.

Mr. Anderson stated that they currently do not have office space anywhere.

Mr. Raithel said that Tourism just took over the building at the top of the hill by the Administration building.

Mr. Anderson clarified that he was not talking about those employees, but the Ambassadors.

Mrs. Willis stated that the Dockmaster and a logistical crew will be located in this building also.

Mr. Anderson stated that the building would serve as a lost and found location, the Mobi-Chair checkout station, first aid station, year-round event command and also serve as the sole location for visitors to gain information from a County representative, at the Yorktown Waterfront.

Mrs. Willis said that is a lot of square footage just for those people.

Mrs. Teena Longoria expressed that she could not understand why the County is proposing this large of a facility for what is being offered there. She said the proposed building is going to block every view that residents and visitors have. She questioned why millions of dollars were spent to revitalize the waterfront to then turn it around and make it a business zone.

Mr. Longoria said that he took a few pictures and though the building is beautifully drawn, from his opinion, it does not fit into the design of the rest of the community. He said he understands the need for the ADA compliant bathrooms and the need for the Dockmaster's Office; however, he would like them to look at doing a false second floor to accommodate staff functions that do not need to be there year round. He said that in other words, making it lower or at least the same height as the Freight Shed.

Mr. Anderson explained that this building would be shorter than the Freight Shed. He showed the picture of the Freight Shed Auxiliary building with the taller Freight Shed in the background.

Mr. Longoria stated then it needs to be smaller than the Freight Shed.

Ms. Harding noted that the Freight Shed has a slope that makes a difference.

Mr. Anderson agreed that the roof line is different; however, he said the height is comparable (not including the cupola).

Mr. Longoria said that it would be better to keep the new building at the same height as the existing two buildings.

Mrs. Willis asked if this was in this year's budget or the Capital Improvement Program.

Mr. Anderson stated that it was.

Mrs. Willis said she was surprised to see this appear before the Committee. She said she would appreciate if County staff would be a little bit more prudent and judicious in staff space in the use

of this building and she would like the architects to come back with a revised plan that is more in line with what residents want and what is in line with the historic district.

Mr. Anderson remarked that the Committee has multiple options for moving forward and added the Committee can decide to approve it or disapprove it or table it and ask for changes and then review it again next month.

Mrs. Willis made a motion to deny the request as presented.

Mr. Anderson clarified that if the Committee denies the request, the County would not bring something back to the Committee and it could be appealed by the County.

Mrs. Willis expressed that she understood.

Mr. Longoria said that he would like to discuss possibly tabling the request to give the County the opportunity to address the perceived need for this large of a structure. He further explained a roof slope that is compatible with other roof types along the riverfront should be used.

Mrs. Willis asked if there would be additional fees for the County if the architect has to revise the plans.

Mr. Anderson explained he did not know what kind of contract the County has or if there will be more fees, but if he had to guess - he would say that it would have additional costs.

Mrs. Terri Hodson stated that if you table it and ask the architect to revise, then the Committee needs to be more specific.

Mr. Jack Davis said that it should look more like Yorktown and not like a milk barn. He said the only other thing he likes is the weathervane. He expressed that he is not trying to be ugly, but it is not suitable to Yorktown or to the residents of Yorktown and added there is nothing about the building that looks Colonial other than the cupola. He said the building is too high and is not in keeping with the cupola that goes out to the piers and does not understand why it has to be eleven feet high.

Ms. Harding stated that there is only so much room on the beach and the County only needs to put what functions on the beach there. She said the bathrooms and Dockmaster are all that should be there and noted everything else needs to go elsewhere. She said there does not need to be two big offices, a lounge, and a meeting room occupying beach space.

Ms. Sandy Schantz asked if there were any comparisons between the existing footprint and the proposed footprint.

Mr. Anderson stated that it will bump out slightly to the one side and the space between the two buildings would be filled in.

Ms. Schantz noted that with the new building, the space between the buildings would be gone along with the view. She ask if there were any square footage numbers.

Mr. Anderson explained that he did not have any numbers.

Mrs. Betsy Taylor said that Mr. Anderson compared this proposed structure to the Freight Shed. She noted that the buildings step down in height from the bridge as you move toward the existing bathrooms and Dockmaster building. Her concern was the scale and the weight of the buildings on the entire waterfront starting from the west with a greater mass and then tapering east as the road and the river come together, where there was less space between the river and the road. She said it feels like it is going to fall into the river with no space surrounding it and it is just too big a building for the area.

Mr. Davis asked what factor is dictating the size of this building and if the Ambassador program had to be located there.

Mr. Anderson expressed the biggest drive is the ADA compliant bathrooms, which take up a quarter of the bottom floor. He stated the County has been doing several things to encourage people with disabilities to come to the beach, such as a Mobi-mat. He added that having a center where visitors and tourists can get information has been a priority for the County.

Mr. Davis asked where these visitors and tourists were going to park.

Mr. Anderson said they would park where they normally park, in the deck or the various parking lots around Yorktown. He stated this is a pedestrian accessible building, just like the two buildings are now and the walkways will remain a pedestrian friendly area. He said he believed the first floor is for visitors and tourists, while the second floor is for a centrally located logistic space including a space for Ambassador Program personnel to take breaks and a place to report. He added there will also be some space for storage, so items do not need to be stored up the hill.

Ms. Harding repeated that they are using our scarce beach for things that don't have to be on the beach.

Mrs. Taylor asked if the Ambassadors are seasonal.

Mr. Anderson stated that they are seasonal.

Ms. Harding stated that they could put up kiosks for the Ambassadors and they do not need a building and what the County is proposing is going to cost a fortune.

Mrs. Krams referenced in the early 2000's when Riverwalk began to be developed, she stated the initial meetings held were so large, they were held in York High School. She said they wanted to know how they could protect and preserve the historic significance of Yorktown. She said the Freight Shed has been there for as long as she can remember and the County used the Freight Shed as the guide to construct small single story buildings in keeping with the look of the historic village that is 17th century Yorktown. She said now the goal posts are being moved and using the Freight Shed to go up instead of down. She stated she is disappointed that the County, who created the Design Guidelines - to cover homes and businesses, would put this on the historic beach. She said the beach was the original commons, owned by the Town Trustees, who were an elected group

that dated back to the early Kings in the 1600s. She said she was called by her Board of Supervisors representative who wanted to get rid of the Town Trustees, and to help York County preserve Yorktown better because the Town Trustees did not have any money for preservation. She said the Town Trustees held the land in trust for all the property owners from the early 1700s, when they paid fifty pounds for the five acre commons. She said she stupidly went before the Virginia General Assembly to get rid of the Town Trustees because she thought the County would preserve the beachfront in front of her property. She further explained the primary goal of the Design Guidelines was to preserve Yorktown, which is a unique village and finds it shocking.

Mrs. Willis said there is a motion on the table and she called the question.

Mr. Longoria asked what will happen if the Committee disapproves the request.

Mr. Anderson explained with any approval or disapproval the applicant can appeal the decision to the Board of Supervisors.

Mr. Longoria remarked that he did not want it to automatically be appealed to the Board of Supervisors.

Mrs. Willis stated that Mr. Longoria can vote against the motion and then continue to get closer together on a solution.

Mr. Longoria expressed that he wants to come out of this with some changes for the County to address, so he is voting against the motion.

Mr. Anderson stated that the motion fails for failure of a majority. He suggested that any motion to table stipulate what the Committee would like the County to address.

Mr. Longoria moved to table the application asking that the following items be addressed:

- A new elevation that showed a compatible roof line with the rest of the waterfront;
- Maintain the current sightline from Chischiak Watch and as you come down Ballard Street;
- Preserve sightline between the building with a breezeway or some other feature;
- Reduce the massing of the building;
- A height reduction to include the cupola;
- Incorporate materials as recommend in staff proposed conditions.

Mrs. Willis inquired if it was appropriate for the Committee to meet with the architects between this meeting and the next.

Mr. Anderson stated that he could ask to see if that was possible.

Mr. Raithel expressed that he has been in the Dockmaster's space and said that besides maybe needing some better space for electronics for communication, they do not need a lot of space. He said he understands the need for the bathrooms, but he feels the County should provide justification for the requirements that are driving the County's wishes for a second floor. He added that he looked at all five areas they are proposing for this building with the attachment to the waterfront,

but it appears the justification is for convenience. He said the citizens are saying that it is not worth constructing this size and style of building just for convenience. He noted that if the second floor can be eliminated, then it will open up more options for a smaller size and style and by putting a cupola on a building does not make it Colonial. He said in fact, many of those building back then probably did not have a cupola and suggested they justify the requirements, because the only requirements he can see is that there need to be better bathrooms.

Ms. Harding said that it is a want versus a need and the community is saying to only support the need.

Mrs. Willis asked if the bathrooms were constructed before the ADA requirements.

Mr. Anderson replied that they had been built before.

Mrs. Willis questioned if there was a lip, turn radius, or some other reason the current bathrooms were not ADA compliant.

Mr. Anderson explained that he had never been in the bathrooms before, so he was unsure.

Mrs. Hodson stated that she felt it was the turn radius and size of the stalls. She also noted that the Tourism staff bring a lot of things down from the Administration building during events, but maybe there are other options for where those items could be stored.

Mrs. Willis said that there is storage in the parking deck, currently.

Mrs. Hodson stated that it was nice they were that close.

Mr. Raithel expressed that the staff has several Gators and trailers that they can use to transport those items.

Mrs. Hodson explained that she knew they had those Gators, but she did not know they were storing in the parking deck. She said it makes sense to have the items close, especially during the summer, when there are concerts every week. She questioned if the Ambassadors were paid.

Mr. Anderson remarked that he believed they were paid.

Mrs. Hodson said it is important for the Ambassadors to have an office where they could report to and get up-to-date information about things going on at the waterfront, but they should not need a place to lounge and sit down or have a party. She stated it was important to have a small areas for information, especially for the businesses in Yorktown and it would help visitors have a better experience. She added that a lot of people visiting Yorktown have no idea as to the things that are at the top of the hill or if they are visiting at the top of the hill, have no idea what is going on at the bottom of the hill. She noted having a space is important, but it does not need to be this large.

Mrs. Taylor questioned if there were any spaces available on the other end that could be modified and if any areas down there could be used for the bathrooms.

Mr. Anderson stated there are handicap bathrooms in Riverwalk.

Mrs. Hodson stated that this location is close to the beach and it could be hard for some to walk the distance to the Riverwalk bathrooms. Additionally, she said she would not want to have to walk to either end of the beach just to use the bathrooms. Lastly, she added there are many events with lots of people and the bathrooms are needed.

Ms. Harding noted that no one is questioning the bathrooms, but questioning the need for the other stuff.

Ms. Elizabeth Wilkins remarked that she appreciated Mrs. Krams sharing the history and she would like to bring that language back into the discussion. She said there were efforts to maintain and preserve the history and it appears the County has gone backwards on that wording.

Mrs. Krams stated the preservation is outlined in the first four pages of the Design Guidelines. She said there are two historic cores, with the first being up on the hill and the other being the waterfront and both areas fall under the parameters. She stated York County pushed for the Design Guidelines, even though 85% of the property owners in the village were against them. She said the property owners wanted the same zoning that the rest of the County homeowners fell under because they felt it would be misused and they did not want to be represented by people who were not elected, which is what they had before under the Town Trustees. She said they were very dubious on what the reason was for the Design Guidelines and thought it was strictly for expansion and that the County had to have them in order to get the grant money for historic preservation. She stated that most of the grant money for Riverwalk was for historic preservation to preserve the character and the historic significance of the village and the five acre commons are very unusual. She noted they were owned in 1697 by Colonel Reed. Lastly, she said to put this structure on the beach is shocking from our government.

Ms. Harding stated that she is still in harrow that she had no clue about any of this until someone told her. She asked how a citizen of Yorktown is supposed to learn about this and know that they can come here and comment.

Mr. Anderson explained that for any case before the HYDC, a sign is posted on the property in question and letters are sent to the adjacent property owners. Additionally, he said, it is put on the HYDC website and a notice is sent out to the email subscription list. He noted that the Committee does not meet all the time, so there is not a set monthly meeting and they only meet when they have an application to review.

Ms. Harding stated that she needs to get on the email list.

Mr. Anderson stated that the email list is the best way to stay up-to-date.

Mr. Raithel said the Committee is always looking for volunteers to serve on the Committee.

Ms. Wilkins stated that she apologizes for her strong reaction to this building and that is shared by many here. She stated she likes to think that she is speaking for many residents of York County that do not know anything about this. She said from the perspective of a County citizen, not just a

village resident, the Committee needs to consider the wider population that is not focused on changes in Yorktown and would never know until they drove down Ballard Street and there is this new structure. She said this is a large County with many people who would like to know what they are going to encounter at the beach. She stated this proposed building changes all the site lines as you come to the waterfront from Ballard Street and this could be an opportunity to open up the space between the two buildings a little more and embrace the beautiful view to the max. She recommends it be designed to enhance the beach not obliterate the view of the ships and dock area. She noted that even the same size and more in character would still bother her, as the Dutch-Colonial style is just wrong.

Mrs. Willis questioned if another site would be more beneficial like, on the bluffs above the parking deck or the old Nancy Thomas warehouse, previous restaurant site on Alexander Hamilton Boulevard.

Mr. Anderson stated that the warehouse site is now a parking lot mainly for the Tourism offices located in the previous Red Coats Antiques house.

Mrs. Willis clarified that she was looking for some other location to take it off the beach and put it somewhere else in Yorktown.

Ms. Harding confirmed Tourism does not need to be at the beach.

Mr. Anderson explained that Tourism would not be moving, but the new building would be used for a visitor's information center.

Mr. Longoria said that he appreciated all the comments tonight. He said he felt compelled to not totally disapprove this as it would be out of the Committee's hand then. He said he would appreciate another look and some consideration by the County to contemplate what was said tonight. He stated everyone here is in agreement that the building is not in keeping with the Design Guidelines and it does not enhance the beautification or the views residents have.

Since there was no more discussion, the Committee by voice voted on the motion to table and it was approved unanimously.

Staff Reports

Mr. Anderson discussed the administrative approvals completed since the last meeting and he reviewed them with the Committee.

Committee Requests

None

There being no further business to come before the Committee, the meeting was adjourned at 8:25 pm.

Respectfully Submitted,

Earl W. Anderson, Secretary

Approved by HYDC: _____

DRAFT

COUNTY OF YORK

MEMORANDUM

DATE: May 13, 2020 (HYDC Mtg. 05/20/20)

TO: Historic Yorktown Design Committee

FROM: Earl W. Anderson, AICP, Senior Planner

SUBJECT: Application No. HYDC-174-20, Apostolos Demetry, 220 Church Street:
Construct a new shed on the south side of the existing Marl Inn

Issue

This application seeks design approval for a 96-square foot (8' x 12') shed proposed to be constructed on property located at 220 Church Street. The applicant's proposed design is described and depicted in the attached materials. The shed is proposed to be located within the fenced-in yard area of the lot as depicted on the attached plat of the property to the south of the existing Marl Inn.

Pertinent Design Guidelines and Staff Observations

The subject property is located in the *Historic Core*, as defined by the Yorktown Historic District and Design Guidelines. The principal structure on the property was constructed in 1978, making it a Non-Contributing Structure under the terms of the Design Guidelines. Pertinent sections of the Design Guidelines (applicable to Non-Contributing Structures [1946 or later construction] and New Construction, Residential Construction include:

Outbuildings and Dependencies

- Not more than three (3) outbuildings or dependencies should be constructed on a lot containing a primary residential structure. Their design and construction must comply with applicable zoning requirements and applicable guidelines for residential structures.

Comment: The proposed shed location is subordinate to the principal structure and there is only one other dependencies (accessory structures) on the property. The other dependency is located on the opposite side of the existing Marl Inn. The proposed location on the southern side of the existing Marl Inn is inside the fenced portion of the yard and will easily comply with the required 5-foot minimum side and rear yard accessory building setbacks required in the YVA District. The shed shall have Hardieboard clap board siding running in a horizontal position and a roof form, shingles, and color that are the same as the existing Marl Inn.

Recommendation

In general, the shed is tastefully-designed and of similar design to the Marl Inn, as are other small storage structures in the Historic Core. Staff believes that the proposed design is appropriate for the location and will complement the design and style of the principal structure. Based on the above noted observations, staff recommends that the proposed shed design and materials, be approved.

Historic Yorktown Design Committee

May 13, 2020

Page 2

ewa

Copy to: Mr. Apostolos Demetry

Attachments

- Vicinity Map
- Application – includes sketch plan and drawings



HYDC #: 174-20
 Date Filed: 4/13/20

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

I/We Apostolos Demetriy request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: 220 Church Street

NOTE: If property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

Tax Assessor's Parcel Number(s): _____

GPIN: P11a-2262-4953

Proposed Action(s):

<input type="checkbox"/>	New Building	<input type="checkbox"/>	Repainting with existing color scheme
<input type="checkbox"/>	Addition	<input type="checkbox"/>	Repainting with different color scheme
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	New roof – same color and materials
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	New roof – different color or materials
<input type="checkbox"/>	Deck / Porch / Trellis	<input type="checkbox"/>	New / replacement windows
<input checked="" type="checkbox"/>	Garage <u>Storage Shed</u>	<input type="checkbox"/>	Signs (new or replacement)
<input type="checkbox"/>	Walls / Fences		
<input type="checkbox"/>	Other (please describe) _____ _____		

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: Build shed on south side of house
8x12" hip roof to match existing house. Same color and design

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

Applicant/Property Owner

Printed Name Apostolos Demetris
Address 220 Church Street
City/State/Zip Yorktown VA 23690
Phone/Fax No. 301-807-0386
E-mail pauldemetris@yahoo.com

Representative

Printed Name _____
Firm _____
Address _____
City/State/Zip _____
Phone/Fax No. _____
E-mail _____

The above named person/firm has permission to represent me regarding this request for architectural review. I understand that approval by the Historic Yorktown Design Committee (HYDC) of any construction, reconstruction, alteration, demolition or other modification of a building, structure, sign or exterior architectural feature shall expire 12 months from the date of approval.

Property Owner Signature: Apostolos Demetris Date: 4-13-2020

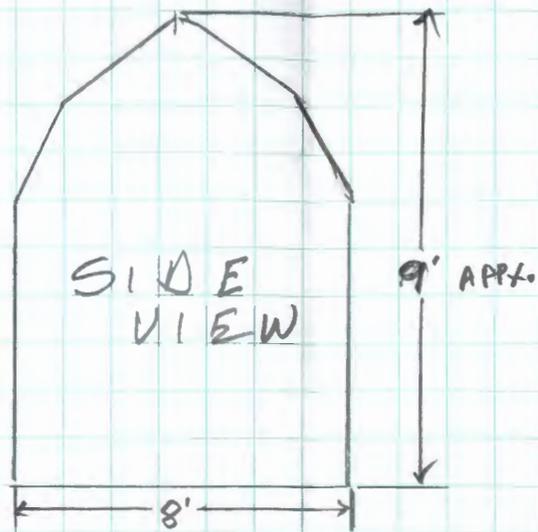
Signing this application form shall constitute the granting of authority to County officials and HYDC members to enter onto the property for the purposes of conducting the analysis of the application, taking photographs and posting signs to notify the public of the application.

PLEASE NOTE THAT CONSIDERATION WILL NOT BE GIVEN TO INCOMPLETE APPLICATIONS.

Application was:

- Approved
- Approved with Conditions
- Administrative Approval
- Denied

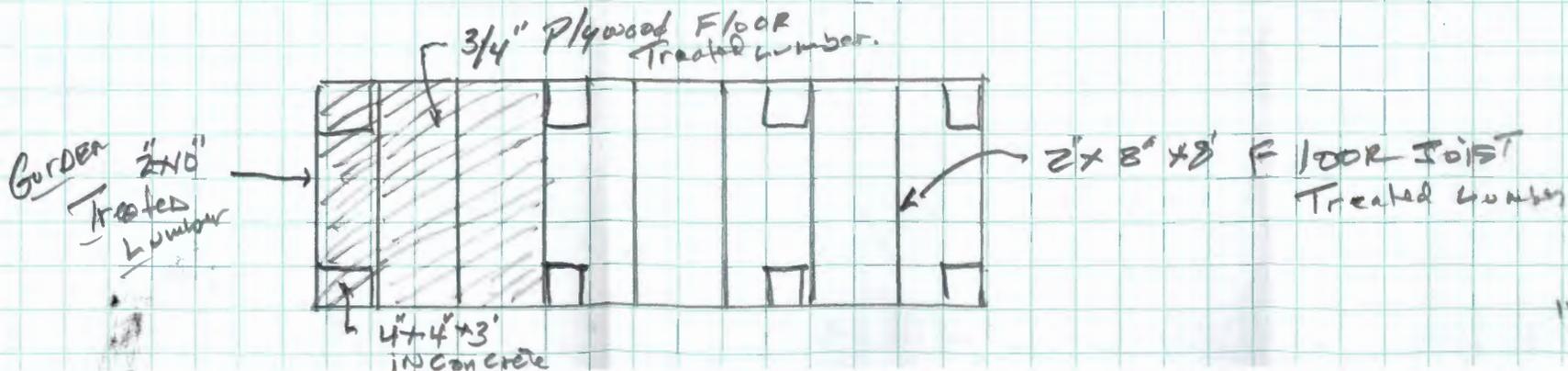
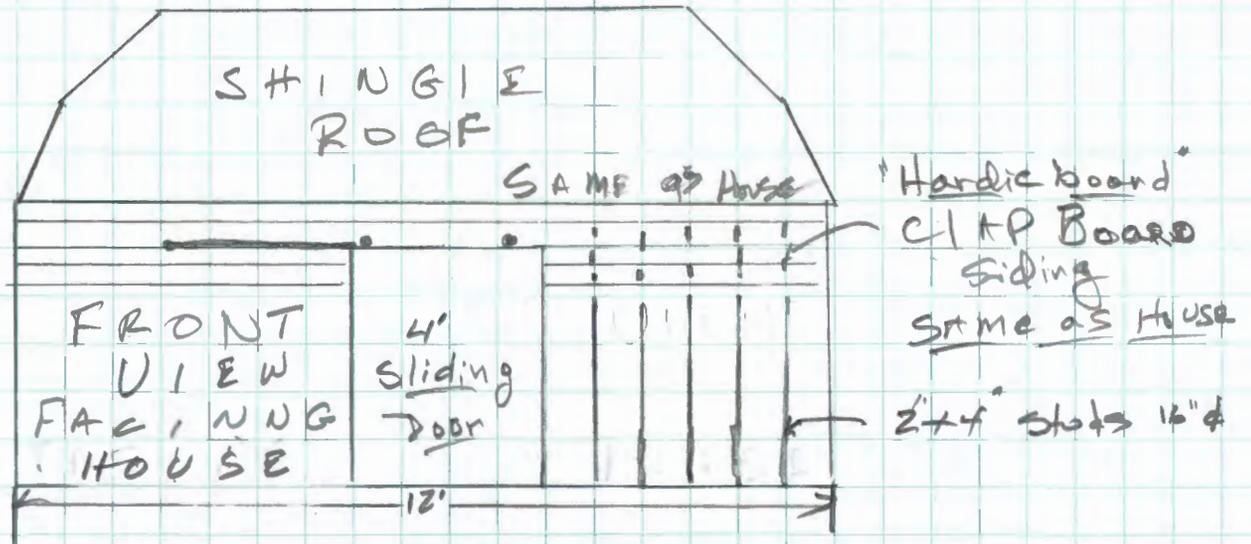
Date of Action: _____



RECEIVED
York County

APR 13 2020

Planning
Division



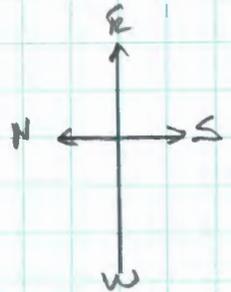
NO SCALE

CHURCH STREET

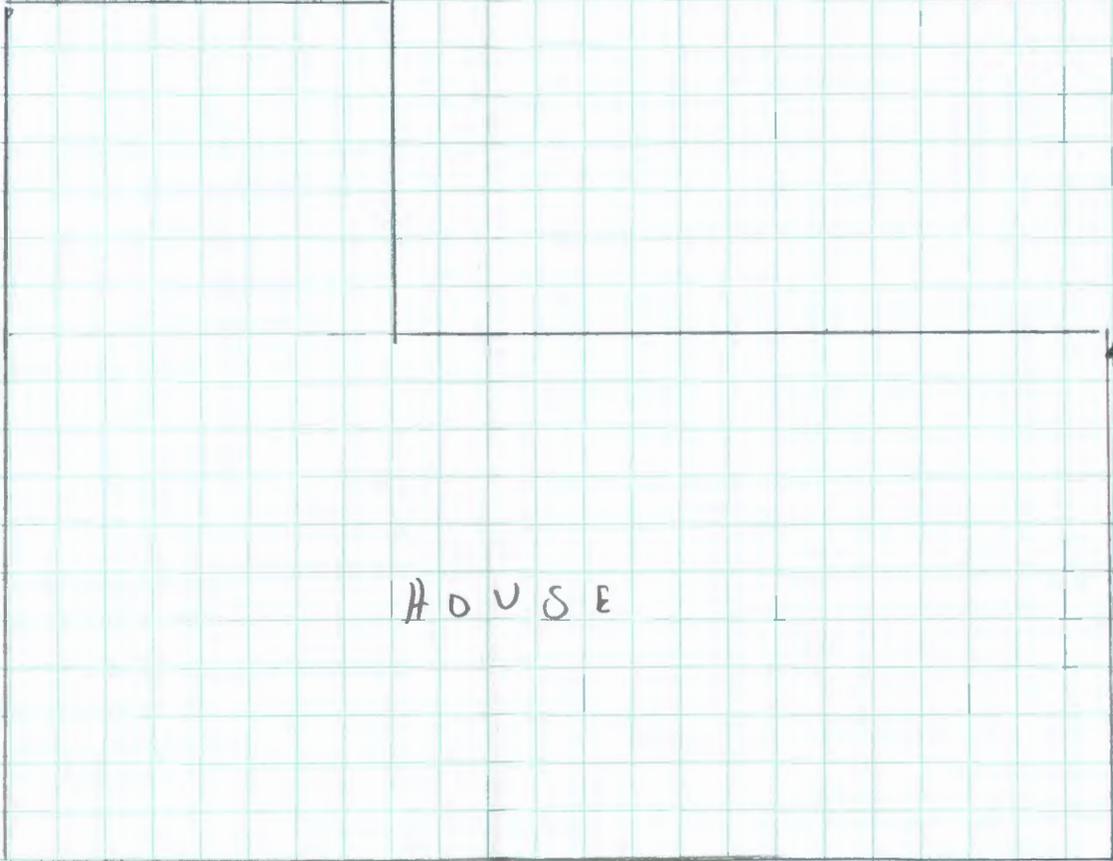
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York County

APR 13 2020

Planning
Division



DRIVEWAY



HOUSE

SHED

Property line

Storage office

PERIMETER FENCE

Property line

"NO SCALE"

COUNTY OF YORK

MEMORANDUM

DATE: May 13, 2020 (HYDC Mtg. 05/20/20)

TO: Historic Yorktown Design Committee

FROM: Earl W. Anderson, AICP, Senior Planner

SUBJECT: Application No. HYDC-173-20, Veronica W. and Michael D. Lulofs, 210 Smith Street: Construct a new single-family detached home with detached garage

Issue

This application, submitted by Veronica W. and Michael D. Lulofs, seeks approval for the design of a proposed single-family detached dwelling with detached garage to be constructed on property located at 210 Smith Street. The applicant intends to occupy the proposed residence.

The proposed one-story structure will be located on the western side of Smith Street between the existing single-family detached dwellings at 208 and 212 Bacon Street. The proposed construction is considered to be a matter-of-right development requiring no special approvals by the Board of Supervisors.

Copies of the architectural drawings of the proposed structure and other supporting material provided by the applicant are attached.

Pertinent Design Guidelines

The subject structure is located in the *Historic Core*, as defined by the Yorktown Historic District and Design Guidelines and should be evaluated for conformance with the standards for Site Planning and Landscape Alterations and New Construction – Residential Construction (see standards beginning on page 28 and 38, respectively of the Design Guidelines).

The Site Planning and Landscape Alterations standards are summarized below, along with staff comments:

Standard	Comments
<u>Views</u> – new construction should be done recognizing its impact on views toward and from significant features and resources. Additionally, ground-level utilities should be located in side and rear yards and screened using solid fencing or evergreen plantings.	The proposed new dwelling will not be visible from any significant features or resources. Ground-level utilities are shown in the sketch plan to be located to the right rear of the dwelling.

Historic Yorktown Design Committee

May 13, 2020

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<p><u>Walks and Paths</u> – residential walks and paths can include grass, compacted dirt, brown pea stone, river stone, brick, bluestone or other monolithic stone. New walkways should be of similar materials to existing connected walks and paths.</p>	<p>New walkways will go from the front porch to the driveway and between the dwelling and the detached garage. The sketch plan labels them as exposed aggregate.</p>
<p><u>Alleys, Driveways and Parking Areas</u> - private, residential driveways should be surfaced in grass, compacted soil/stone mixture, brown pea stone/gravel, exposed aggregate concrete, or brick pavers and should not exceed eleven feet (11’) in width. Additionally the driveway may split or increase in width no closer than twenty-five feet (25’) from the front property line.</p>	<p>The driveway is shown as 11’ in width and increases in size after it goes beyond the front of the house which is greater than 25’ from the front property line. It will be constructed of exposed aggregate.</p>
<p><u>Walls and Fences</u> – fences, walls, and hedges are part of the character of the historic area and should be retained and maintained. Wooden picket fences are appropriate and wrought iron, composite wood, wood substitute products, and synthetic fence materials may be considered on a case-by-case basis.</p>	<p>A split rail fence exists on the property along the rear property line. No other fencing is discussed in the materials.</p>
<p><u>Patios and Terraces</u> – should be located in side and rear yards and surfaced with materials compatible to existing walks and paths.</p>	<p>A patio is shown in the rear yard and is described as exposed aggregate similar to the walkways and driveway.</p>
<p><u>Mail and Newspaper Boxes</u> – should not be plastic and should incorporate wooden supports or otherwise be concealed.</p>	<p>A mail box is shown to the right of the driveway, though material is not identified. A condition has been included to not allow plastic.</p>

A summary listing of the New Construction – Residential Construction standards, along with staff comments regarding compliance follows:

Standard	Comments
<p>In general, reconstructions or duplications of pivotal structures should be avoided. On occasion, however, the National Park Service may find it desirable to undertake such reconstructions on its properties in support of interpretation programs for the village or battlefield. Such reconstructions are appropriate if they are based on scholarly research involving archaeological and or historical evidence as to the siting, form, appearance, and materials of the original resource, and if it is clearly stated in the interpretation effort that the building or feature is a reconstruction.</p>	<p>The structure is not a reconstruction or duplication of any existing pivotal structures.</p>
<p><u>Setbacks</u> – With the exception of scholarly reconstructions intended for interpretive use, new residential construction should have a setback equal to or greater than that of existing structures on either side along the primary street frontage of the lot or of any adjacent pivotal buildings.</p>	<p>The proposed setback of the structure is 40’ from the property line along Smith Street. The adjacent structure to the south at 212 Smith Street is approximately 15’ from Smith Street. The adjacent structure to the north at 208 Smith Street is approximately 35’ from Smith Street.</p>

Historic Yorktown Design Committee

May 13, 2020

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<p><u>Orientation of Primary Buildings</u> - The principal entrance façade of the primary structure should be oriented to the property's principal street frontage. In the case of structures located on corner or through lots, the primary structure may have its principal entrance façade oriented to either of the streets. However, where one of the frontages is Main Street, orientation should be to that street.</p>	<p>The main entrance will face Smith Street.</p>
<p><u>Size and Scale</u> <u>(a)</u> Building height should not exceed two stories above grade at the principal façade.</p>	<p>The structure is one-story and approximately 25' in height.</p>
<p><u>(b)</u> The principal block of all primary buildings should be between thirty (30) feet and fifty (50) feet in length and between twenty (20) feet and forty (40) feet in width.</p> <p><u>(c)</u> On original lots, as defined herein, the footprint of the primary structure (including porches, wings, etc.) should not exceed 30% of the total lot area.</p> <p><u>(d)</u> The footprint of dependencies should not exceed 25% of the footprint of the principal block of the primary structure on the lot.</p> <p><u>(e)</u> Dependencies should not exceed the height of the primary structure or one and one-half stories, whichever is less.</p>	<p>The structure is 20' in width and 47' in depth.</p> <p>The footprint of the principal structure with porches is 1,928 square feet and the lot is 14,202 square feet, which equates to approximately 14% lot coverage by the structures.</p> <p>The garage is approximately 480 square feet, which is 25% of the primary structure.</p> <p>The garage height is approximately 18', which is lower than the dwelling.</p>
<p><u>Form and Massing</u> <u>(a)</u> Building designs should be a single rectangular box-like form or a similar principal form with subordinate rectangular wings.</p> <p><u>(b)</u> The need for increased square footage should be accommodated through the use of one or more smaller attached wings or detached dependencies rather than creating a massive or monolithic appearance within the principal block.</p> <p><u>(c)</u> Wings should be attached to the sides or rear of the principal block, either directly or through the use of a connector such as a breezeway.</p> <p><u>(d)</u> Side wings should be set back from the plane of the principal façade by a minimum of one (1) foot.</p>	<p>The primary structure block is rectangular in shape with the long axis perpendicular to Smith Street.</p> <p>n.a.</p> <p>n.a.</p> <p>n.a.</p>

<p><u>Roof Form</u></p> <p>(a) Gabled or hipped roofs should be used for all primary buildings (including the roofs of both the principal block and its wings).</p> <p>(b) Roof pitch should be in the range of 9:12 to 12:12.</p> <p>(c) Dormers should encompass only the width of the window and have roofs that match the form and pitch of the main roof.</p>	<p>The dwelling's proposed roof is a mix of gable and Dutch styles with varying pitches.</p> <p>The roof has two pitches. The upper roof has a pitch of 9:12 and the lower roof has a pitch of 2.5:12.</p> <p>The roof pitch for the garage is 10:12 and is a gable style.</p> <p>No dormers are proposed.</p>
<p><u>Architectural Elements</u></p> <p><u>Foundation Materials</u> - Brick-faced foundations should be used for all buildings.</p> <p><u>Wall Materials</u></p> <p>(a) Brick or wood clapboard siding wall materials should be used for primary residential structures. Clapboard siding should be used for outbuildings.</p> <p>(b) Only Virginia red brick of uniform, standard size should be used. No old, variegated, mottled, rubbed, glazed, or other specialty bricks should be used. Common and American bonds are appropriate; Flemish, English, and other period or decorative bonds are not. Mortar should be in a beige-to-tan color range.</p>	<p>The foundation is brick-faced.</p> <p>The narrative states that the siding type will be HardiPlank Cedar Mill 8" siding.</p> <p>The applicant has stated the use of Lawrenceville 109 (a Colonial red brick), with a Roanoke Buff mortar color. A running bond-round mortar joint will be used.</p>
<p>(c) Wood clapboard siding (horizontal orientation) that is suitable for painting is the preferred siding material. Composite wood products and other wood substitute or synthetic sidings may be considered if they are indistinguishable in outward appearance and compatibility from an otherwise approvable standard wood product.</p>	<p>The narrative states that the siding type will be HardiPlank siding.</p>
<p><u>Roof Materials</u></p> <p>(a) Wood or asphalt/fiberglass shingles are the preferred materials. Slate or composite roofing materials may be considered on a case-by-case basis.</p> <p>(b) Roofing materials should be compatible in color with the exterior color of the building</p>	<p>The structure will have asphalt/fiberglass architectural shingles as stated in the narrative.</p> <p>Shingle color is a colonial slate color.</p>

<p><u>Doors</u></p> <p>(a) Only one entry door should be provided on the front façade of the principal block or any outbuilding. The entry door should be a single, wooden, raised panel door with or without lights and should be painted.</p> <p>(b) Steel or composite doors may be used provided they have the appearance of a wooden, raised panel door.</p> <p>(c) All attached hardware should be simple in design and appropriate to the character of the building and the district.</p> <p>(d) Sliding glass doors should not be used on any elevation facing a public right-of-way unless they are of a type that is indistinguishable in appearance from an otherwise approvable divided-light French-door arrangement.</p>	<p>A single entry door is proposed on the front façade. The door is proposed to be a fiberglass six raised panel door to be painted Heritage red. Another door is shown near the front of the home on the right side and would be visible from Smith Street.</p> <p>A fiberglass material is a proposed for the door, but looks like wood.</p> <p>Hardware is simple and will be matte black in color.</p> <p>No sliding glass doors are proposed.</p>
<p><u>Windows</u></p> <p>(a) Double-hung sash windows with a vertical proportion should be the predominant window type for any primary residential structure and outbuilding.</p> <p>(b) All windows on the principal façade(s) should be of uniform size and double hung.</p> <p>(c) No more than one elevation should employ a specialty window type.</p> <p>(d) Window sash may have multiple panes created by fixed or snap-in muntins. Wood or wood-like composite material windows with vinyl or metal cladding may be used. The use of energy efficient windows is encouraged to eliminate the need for exterior storm windows. Windowless side or rear elevations that are visible from public rights-of-way should be avoided.</p>	<p>Windows are double-hung vertical frame sash type.</p> <p>Window sizes and configurations are consistent throughout the structure.</p> <p>A three window configuration is on the right side of the structure.</p> <p>Divided-light windows are proposed. The windows are 6-over-6 pane windows. Windows are proposed on both the right and left sides, visible from Smith Street.</p>
<p><u>Shutters</u></p> <p>Shutters should be used only if they are sized to fit the windows or doors they are intended to cover.</p>	<p>Vinyl two-panel louvre shutters are shown on the drawings for all the windows except for the large right-side and single rear window and the left side rear two single windows. Shutters run the length of the windows.</p>

<p><u>Porches, Stoops and Railings</u></p> <p>(a) Porches and stoops should be consistent and compatible in form with the principal block of the house, and simple in character.</p> <p>(b) Porches and stoops on the front façade should not be enclosed.</p> <p>(c) All porch supports, columns, posts, and railings should be compatible with the overall design of the porch and the residence and be constructed of wood or wood-like synthetic or composite material that is painted.</p> <p>(d) All porch roofs should be pitched or hipped and compatible with the roof form of the principal block.</p> <p>(e) Railings and balusters should employ square or turned pickets.</p> <p>(f) All steps leading to porches and stoops should be of brick or painted wood or wood-like synthetic construction.</p> <p>(g) Porches and stoops on dependencies should be small, unenclosed structures.</p>	<p>The front stoop is consistent with the block of the structure and is simple for the form of the structure.</p> <p>The front porch is not enclosed.</p> <p>The porch components are compatible with the overall design and are proposed to be aluminum.</p> <p>The porch roof is pitched at a separate degree from the roof separating it from the main roof design.</p> <p>The porch has square pickets.</p> <p>The steps appear to be made of wood.</p> <p>n.a.</p>
<p><u>Decks</u></p> <p>Decks or unpainted wood structures of any kind should be located only in rear yards. In the case of corner lots or through lots, views of such structures located in the designated rear yard should be screened from public rights-of-way by appropriate landscape materials.</p>	<p>No deck is proposed</p>
<p><u>Chimneys</u></p> <p>(a) Brick should be used for all chimneys visible from a public street right-of-way, whether the chimney is internal or external to the structure.</p> <p>(b) Variation in width from firebox to the cap may be appropriate for external end chimneys if such variation is compatible with the overall design.</p> <p>(c) Articulation of the cap through brick corbelling may be desirable if compatible with the overall design.</p> <p>(d) The use of metal flue pipes/chimneys should be limited to portions of the structure not visible from public street rights-of-way or other publicly accessible spaces. In any event, if such metal flues are used, they should be painted to match or blend with the color of the roof through which they protrude.</p>	<p>The drawings show a chimney; however, the applicant has stated that the chimney will not be constructed.</p> <p>n.a.</p> <p>n.a.</p> <p>n.a.</p>

<p><u>Gutters and Downspouts</u></p> <p>(a) The use of ground gutters is encouraged.</p> <p>(b) If fascia-mounted guttering is used, it should be metal with a half-round configuration, painted to match the color of the eave fascia, or such other style deemed appropriate to the style of the structure.</p> <p>(c) Downspouts should be of round cross-section or other shape appropriate to the style of the structure, and painted to match the color of the wall surface to which they are attached.</p> <p>(d) Gutters and downspouts should not be used on outbuildings and dependencies unless the site development cannot accommodate anticipated roof drainage. If gutters and downspouts are used, they should be consistent with the above guidelines.</p>	<p>n.a.</p> <p>No gutters are proposed.</p> <p>n.a.</p> <p>n.a.</p>
<p><u>Color</u></p> <p>(a) Paint colors for all exterior wood surfaces (excluding fences) associated with new construction should be comprised of a color or colors from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Other colors may be proposed and will be considered on a case-by-case basis.</p> <p>(b) In general, fences should be painted white; however, fence finishes and colors will be evaluated on a case-by case basis to ensure compatibility with the type of fence and the setting in which located.</p>	<p>The siding will be gray slate, with a white trim. Shutters will be black. All colors match colors within the Yorktown Color Palette.</p> <p>No new fence is proposed.</p>
<p><u>Utilities</u></p> <p>(a) Air conditioning should be provided through the use of central systems with external components that can be effectively screened from view with appropriate plant materials, solid fences, walls, outbuildings or a combination of approaches.</p> <p>(b) If window or through-wall air conditioning units are used, they should be located inconspicuously on side or rear elevations.</p> <p>(c) Exterior television antennas shall be prohibited. Satellite dishes shall be located so as to prevent or minimize visibility from public rights-of-way.</p>	<p>Exterior HVAC units will be located on the ground at the rear of the structure.</p> <p>n.a.</p> <p>n.a..</p>

<p><u>Outbuildings and Dependencies</u> Not more than three (3) outbuildings or dependencies should be constructed on a lot containing a primary residential structure. Their design and construction must comply with applicable zoning requirements and applicable guidelines for residential structures.</p>	<p>One outbuilding is proposed to be used as a garage. It is a one-story structure located on the northwestern side of the lot and complies with all setbacks.</p>
<p><u>Garages</u> (a) Garages, whether attached or in a separate structure, should be subordinate to the principal residence. (b) Garage openings are not appropriate facing Main Street. Openings visible from other public rights-of-way should have operable, wood-paneled doors painted in a compatible color. (c) Wood-substitute, metal or synthetic material doors may be considered on a case-by-case basis provide they have the appearance of a standard wood-paneled door.</p>	<p>Garage is detached and is subordinate to principal residence. A white steel garage door with 20-raised panels is proposed to face Smith Street. The garage door is proposed to be steel.</p>
<p><u>Street Numbers</u> (a) Numerals not greater than four (4) inches in height may be applied directly to the façade or to a fence or to a simple signboard not to exceed six (6) inches in height. Such signs should be of wood, painted to match the body and trim colors of the associated residence or fence. (b) Wood signs that are partially or entirely sandblasted or burned are not appropriate.</p>	<p>Not indicated, but must be observed. n.a.</p>

Under Section 24.1-377(h), the following guidance is provided for the evaluation of applications proposing new construction:

(3) For new construction, the following shall apply:

- a. The design for new construction shall be sensitive to and take into account the special characteristics that the district is established to protect. Such considerations are to include building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, texture, color, architectural details, roof forms, emphasis of horizontal or vertical elements, walls, fences, and any other features deemed appropriate by the reviewing authority (Zoning Administrator or HYDC).
- b. The design of the new construction shall recognize the relationships among buildings in the immediate setting rather than specific styles or details since architectural styles and details may throughout the Historic District.

Recommendation

In staff’s opinion, the proposed structure is generally consistent with the Design Guidelines. Staff believes that the proposed new detached single-family dwelling and garage will be visually appealing and that it merits approval. Accordingly, it is recommended that the Committee find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

1. The building shall be constructed in accordance with the exterior features depicted on the architectural renderings and with the supplementary information presented with the application.
2. No plastic mail or newspaper boxes shall be allowed.
3. Shutters shall be wood or a wood composite material.
4. The porch components shall be constructed of wood or wood-like synthetic or composite material.

Attachments

- Application materials and plans



HYDC #: 193-20
 Date Filed: 3/7/20

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

Venocia W. Lulofs
 I/We Michael D. Lulofs request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: 210 Smith Street

NOTE: If property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

Tax Assessor's Parcel Number(s): _____

GPIN: P116-3020-4490

Proposed Action(s):

<input checked="" type="checkbox"/>	New Building	<input type="checkbox"/>	Repainting with existing color scheme
<input type="checkbox"/>	Addition	<input type="checkbox"/>	Repainting with different color scheme
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	New roof – same color and materials
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	New roof – different color or materials
<input type="checkbox"/>	Deck / Porch / Trellis	<input type="checkbox"/>	New / replacement windows
<input type="checkbox"/>	Garage / Storage Shed	<input type="checkbox"/>	Signs (new or replacement)
<input type="checkbox"/>	Walls / Fences	<input type="checkbox"/>	
<input type="checkbox"/>	Other (please describe)		

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: _____

NEW SFD. W/ GARAGE

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

Applicant/Property Owner

Printed Name Michael D. Lulofs
Address 121 Brian Wesley Ct
City/State/Zip Yorktown VA 23693
Phone/Fax No. 757-456-6171
E-mail mlulofs@cox.net

Representative

Printed Name Jim DUBUAY
Firm Performance Contracting
Address 334 Redoubt Road
City/State/Zip Yorktown VA 23692
Phone/Fax No. 757 988 3900
E-mail performancecontracting@gmail.com

The above named person/firm has permission to represent me regarding this request for architectural review. I understand that approval by the Historic Yorktown Design Committee (HYDC) of any construction, reconstruction, alteration, demolition or other modification of a building, structure, sign or exterior architectural feature shall expire 12 months from the date of approval.

Property Owner Signature: *Michael D. Lulofs* Date: 3-7-2020
Thomas W. Potts

Signing this application form shall constitute the granting of authority to County officials and HYDC members to enter onto the property for the purposes of conducting the analysis of the application, taking photographs and posting signs to notify the public of the application.

PLEASE NOTE THAT CONSIDERATION WILL NOT BE GIVEN TO INCOMPLETE APPLICATIONS.

Application was:

- Approved
- Approved with Conditions
- Administrative Approval
- Denied

Date of Action: _____

GENERAL NOTES

1. A TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM. THE PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON A PLAT RECORDED AT PLAT BOOK 342, PAGE 107.
2. ELEVATION SHOWN HEREON ARE IN FEET AND ARE BASED ON NAVD88 AS SCALED FROM USGS QUAD MAP.
3. WETLANDS, IF ANY, WERE NOT RESEARCHED OR LOCATED FOR THIS PLAT.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
5. PARCEL LIES IN F.I.R.M. ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP #51199C0107D, DATED JANUARY 16, 2015.
6. LOT SERVED BY PUBLIC WATER AND SEWER.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS SHOWN HEREON.
8. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY.
9. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION AFTER EXCAVATION.
10. CONTRACTOR TO USE THE YORK COUNTY STAMPED APPROVED HOUSE PLANS FOR THE PROPOSED HOUSE DIMENSIONS.

EROSION & SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK 1992 THIRD EDITION". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.

SITE INFORMATION

NORTH-EASTERLY 2/3 OF LOT 62, YORKTOWN
 TOTAL AREA: 14,202 S.F. / 0.326 AC.
 IMPERVIOUS AREA: 3,568 S.F. / 0.08 AC.
 DISTURBED AREA: 11,113 S.F. / 0.26 AC.
 GARAGE AREA: 480 S.F. / 0.011 AC.
 HOUSE AND PORCH AREA: 1,928 S.F. / 0.044 AC.
 GPIN: P11b-3020-4490
 ZONING DISTRICT: YVA
 PROPERTY IS NOT LOCATED WITHIN THE RMA/RPA PER YORK COUNTY GIS MAPPING.

BUILDING SETBACK (SBL)

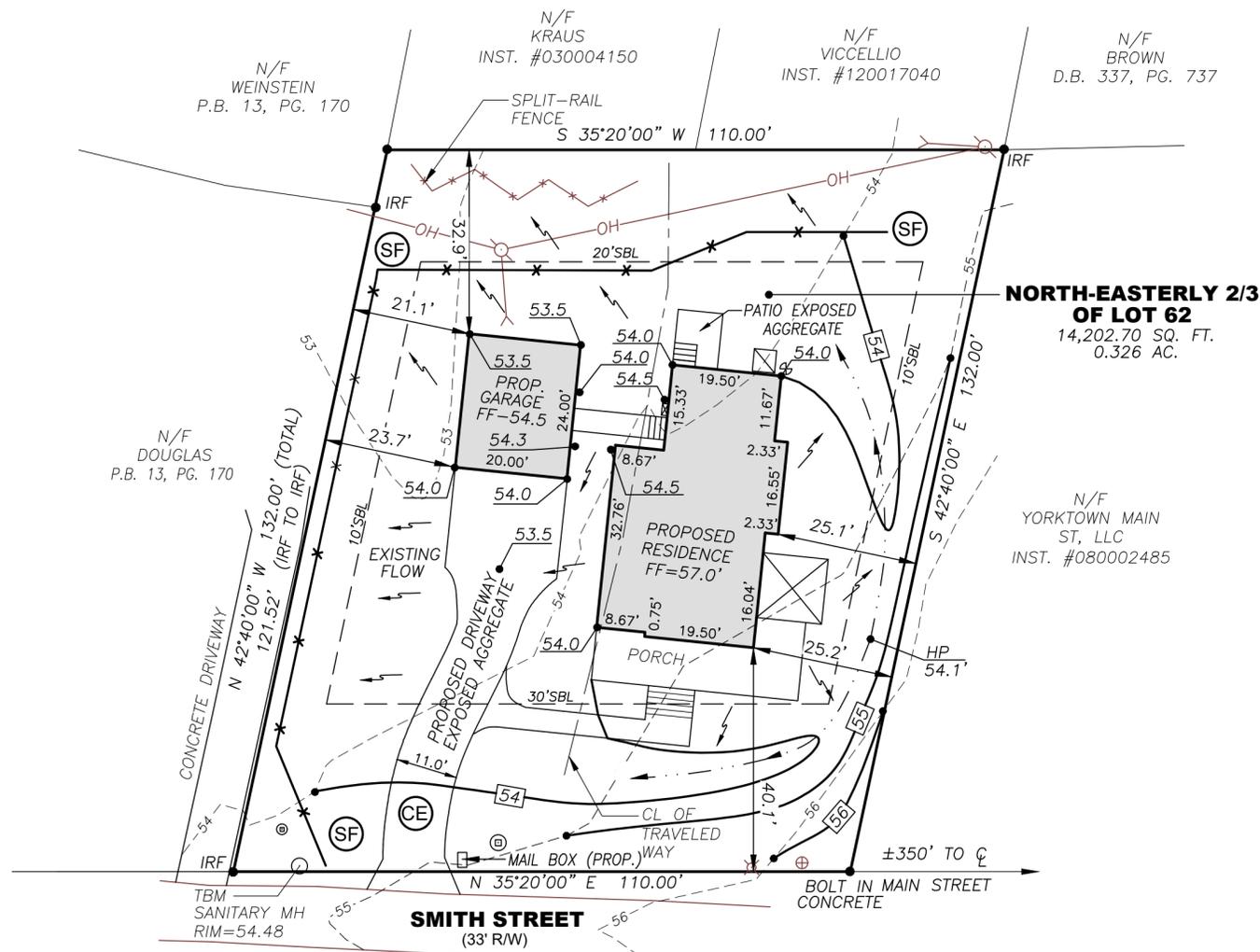
FRONT: 30'
 REAR: 20'
 SIDE: 10'

EXISTING ADDRESS:

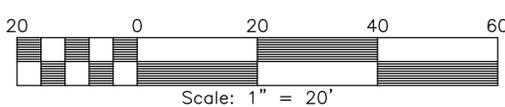
210 SMITH STREET
 YORK COUNTY, VIRGINIA

**WATER METER NOT FOUND AT TIME OF SURVEY.
 CONTRACTOR TO COORDINATE WITH YORK COUNTY
 SERVICE AUTHORITY FOR SERVICE LINE LOCATION.**

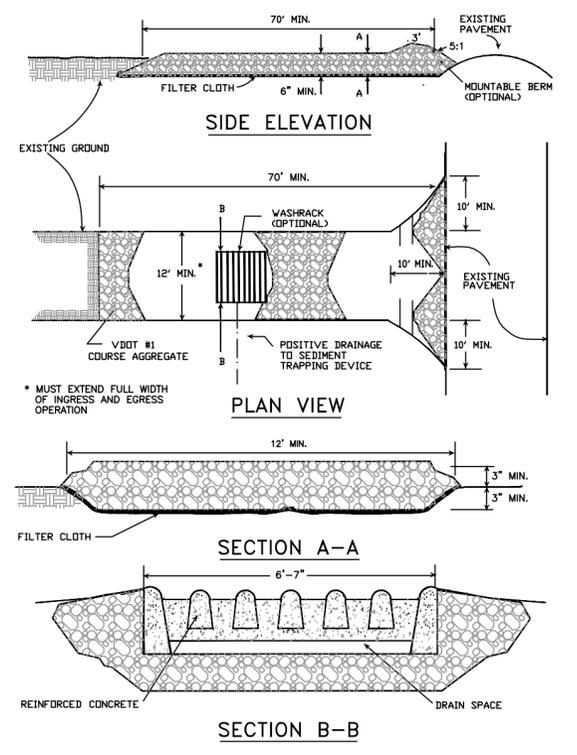
RECORD MERIDIAN
 D.B. 342, PG. 107(PLAT)



- LEGEND**
- ⊙ SEWER CLEAN OUT
 - ⊕ CABLE PEDESTAL
 - ⊙ UTILITY POLE
 - OH— OVERHEAD UTILITY
 - ⊙ LIGHT POLE
 - ⊕ GAS METER (PROPOSED)
 - ⊕ HVAC (PROPOSED)
 - ⊕ METER BASE (PROPOSED)
 - IRF = IRON ROD FOUND

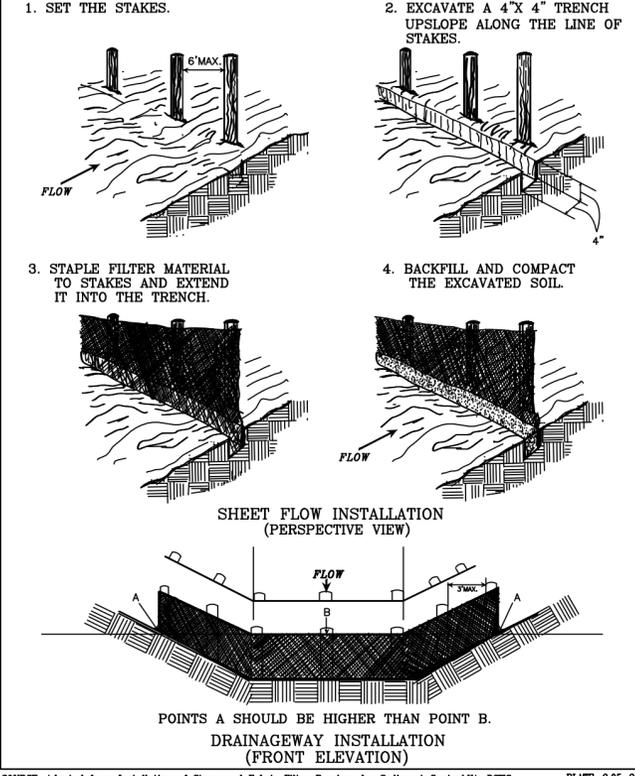


STONE CONSTRUCTION ENTRANCE

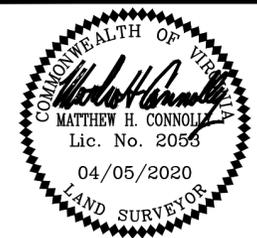


SOURCE: ADAPTED FROM 1983 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND VA. DSWC PLATE 3.02-1

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SOURCE: ADAPTED FROM INSTALLATION OF STRAW AND FABRIC FILTER BARRIERS FOR SEDIMENT CONTROL, VA. DSWC SHERWOOD AND WYANT PLATE 3.05-2



DATE: 3/20/2020
 DRAWN BY: ALEXIS
 PROJECT No. 20-095
 REFERENCES:
 INSTR. #190014698
 D.B. 342/107 (PLAT)

YORK COUNTY VIRGINIA
 PLOT PLAN OF
 NORTH-EASTERLY 2/3 OF LOT 62
 YORKTOWN
 FOR
 PERFORMANCE CONTRACTING

NO.	DATE	REVISION / COMMENT / NOTE



Over 1000 Exclusive Designs - One *Southern Living* Name

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- *Southern Living* and the architect/designer will not be liable for any special, consequential, or incidental damages arising from use of the plan. To the extent allowable by law, any liability of *Southern Living* and the Architect/Designer will be limited to the purchase price of the plan.
- The purchaser of this plan is responsible for compliance with all local building codes and for ensuring that the plan is correctly adapted to accommodate local site conditions. The purchaser should consult with a local Architect or engineer regarding these matters.
- Before construction begins, the purchaser should thoroughly review this plan with the contractor, verify all dimensions and structural elements for the plan.
- The exact size, reinforcement and depth of all concrete footings must be determined by local soil conditions and acceptable practices of construction. The bottom of all footings should extend below frostline. Before construction begins, the purchaser or contractor should verify the structural elements for the plan and site with a local engineer.
- The purchaser assumes all risks associated with adapting the plan to local sites affected by regional variations in climate, local site conditions, design needs and building codes. Neither *Southern Living* nor the Architect/Designer of this plan may be held responsible for adapting the plan to local site conditions, design changes, construction means or methods, costs, workmanship, quality of materials or equipment utilized in the construction.

Please report any errors, omissions to *Southern Living* and/or the Architect/Designer. You may contact us at (800) 755-1122 with any questions.



Banning Court

SL-1254

Southern Living HOUSE PLANS

www.southernlivinghouseplans.com
1-800-755-1122



TERMS OF PURCHASE AND USE:

- Moser Design Group, Inc., assumes no liability for any home or any portion thereof which may be constructed from these plans. It is the responsibility of the purchaser of these plans to read and comply with the following prior to the start of actual construction.
- These Plans are the property of Moser Design Group, Inc. These Plans are protected by Federal Copyright Laws. Any use of the information contained herein beyond the one-time use authorized by a plan purchase, or any duplication, publication, sale or distribution of any part of these plans without the prior written consent of Moser Design Group, Inc. represents a violation of Federal Laws subject to the prescribed penalties.
- A purchase of blue-line prints grants the as "Licensee" the right to use such documents to construct a single home. Purchaser acknowledges that all rights of ownership, title, and interest in the copyrights, plans and derivatives remain with Moser Design Group, Inc. Modified plans are considered derivatives of the original. Derivatives receive the same copyright protection even if completely redrawn and like the Plans, may not be sold, copied, or used to construct any other residence.
- Any use of these plans, or modifications thereto, by the purchaser, his or her builder or others is performed at their own risk.
- Plans should be reviewed by a local professional architect or engineer prior to the start of construction. The information contained within these construction documents is issued to show design intent and basic framing details. It is the builder's responsibility to provide standard construction detailing and practices which will provide a structurally sound and weatherproof finished product. The builder shall resolve any discrepancies or problems perceived prior to starting construction of such items.
- Building codes vary because of the great differences in geography and climate throughout the United States and Canada. Each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other matters. It is the Purchaser's responsibility to consult with the proper construction professionals to ascertain if the plans comply with the codes governing the Licensee's building site and, if necessary, make any changes or verifications required.
- The plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and climatic conditions. A local electrical engineer, mechanical engineer and/or builder should provide such plans as may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a typical spread footing or typical concrete piers and conventional wood framed system. It is the purchaser's responsibility to have a local architect or licensed engineer review the plans and, if deemed necessary, provide a site-specific foundation design.
- These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types, and use of different materials and thicknesses may change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans may also change details.
- It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable national, state, and local Building Codes. It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.
- It is the builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned as directed by the manufacturers, unless specified herein to the contrary.
- It is the builder's responsibility to assure that all materials, equipment and components are new and of good quality.
- It is the builder's responsibility to check all plan dimension and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber, structural members, veneer, roofing, etc., all of which may create revised dimensions and details.
- Names of materials and manufacturers shown on these plans do not represent any endorsement or recommendation by Moser Design Group, Inc. The final selection of the materials to be used is the responsibility of the home owner and/or builder, as is the proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the Plans. Moser Design Group, Inc. has no control over or responsibility for the selection, installation, or use of such items or details and shall not be liable for any errors, omissions, or deficiencies in any form pertaining thereto.
- Moser Design Group, Inc. reserves the right to make changes to its models from time to time, therefore, does not warrant that the Plans will match any marketing images, web site or catalog that the purchaser may have reviewed and/or consulted in ordering plans.
- DISCLAIMER OF WARRANTIES.** To the maximum extent permitted by law, Moser Design Group, Inc. disclaims all warranties, express or implied, including the implied Warranty of Merchantability and implied Warranty of Fitness for a Particular Purpose.
- LIMITATION OF LIABILITY.** Moser Design Group, Inc. shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits or loss of business opportunity. To the extent permitted by law, any liability of the Licensor shall be limited to the retail price of the Plans.
- This agreement shall be construed in accordance with South Carolina law.
- Any legal action concerning or arising out of this agreement shall be brought only in a South Carolina State or Federal Court located in Beaufort or Charleston Counties. In South Carolina, and the Licensor and Licensee consent to the exclusive jurisdiction of said Courts with respect to any such action.

GENERAL NOTES:

- Do not scale drawings. Use only dimensions shown on drawings. If dimensions are in question, the builder shall obtain clarification from Moser Design Group, Inc. before continuing with construction. The builder shall verify all dimensions and conditions at jobsite.
- Larger scale drawings supersede smaller scale drawings.
- Coordinate location of utility meters on the site plan to keep them from public view and to minimize visual impact from any area of the site. Hold meters as low as possible to allow more effective screening.
- Use materials appropriate to the application for maximum life and optimum appearance.



TNH-B-11-B

TRADITIONAL NEIGHBORHOOD HOME SERIES

DRAWING INDEX

- C COVER SHEET / GENERAL INFORMATION
- A-1 FOUNDATION & FRAMING PLAN / ROOF PLAN
- A-2 FLOOR PLAN / ELECTRICAL PLAN
- A-3 ELEVATIONS
- A-4 SECTIONS & WALL DETAILS

NOTE:

CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS

CONTRACTOR TO VERIFY VENTILATION AND WATER-PROOFING DETAILS

CONTRACTOR TO VERIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION, VERIFY CONNECTIONS MEET ALL APPLICABLE CODES, AND LOADS IMPOSED.

SYMBOLS AND ABBREVIATIONS

	DRAWING NUMBER	ABV	ABOVE	INT	INTERIOR
	SHEET NUMBER	AFF	ABOVE FINISHED FLOOR	IN	INCHES
	DETAIL NUMBER	ASF	ABOVE SUBFLOOR	JST	JOIST
	INTERIOR ELEVATION NUMBER	ADJ	ADJ	MIN	MINIMUM
	DIRECTION OF RISING SLOPE	AT	AT	MAX	MAXIMUM
	ROOF PITCH	BFE	BASE FLOOD ELEVATION	NIC	NOT IN CONTRACT
	OVERHANG DIMENSION	CONT	CONTINUOUS	OPN'G	OPENING
	RAFTER BEARING HEIGHT ABOVE SUBFLOOR	CNTR	CENTER	OC	ON CENTER
	WINDOW KEY	CONST	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
	DOOR KEY	CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
	KITCHEN	CONC	CONCRETE	PT	PRESSURE TREATED
	ROOM NAME	DIA	DIAMETER	PNT	PAINT
	FINISH FLOORING	DBL	COUBLE	R	RISER
	CEILING HEIGHT	DEG	DEGREES	ROW	RIGHT OF WAY
	CEILING FINISH OR OR SPECIAL NOTE	EXT	EXTERIOR	REQ'D	REQUIRED
		FFE	FINISHED FLOOR ELEVATION	REM	REMOVE
		FIN	FINISH	SQFT	SQUARE FEET
		FL	FLOOR	TOB	TOP OF BLOCK
		FT	FEET	TOS	TOP OF STUD
		FOS	FACE OF STUD	TRD	TREAD
		FOB	FACE OF BLOCK	TRT'D	TREATED
		GYP	GYPSUM	VERT	VERTICAL
		HB	HOSE BIBB	GALV	GALVANIZED
		HVAC	HEATING, VENTILATION & AIR CONDITIONING	SS	STAINLESS STEEL
		HT	HEIGHT		
		H/C	HANDICAP		
		HDR	HEADER		
		HORZ	HORIZONTAL		

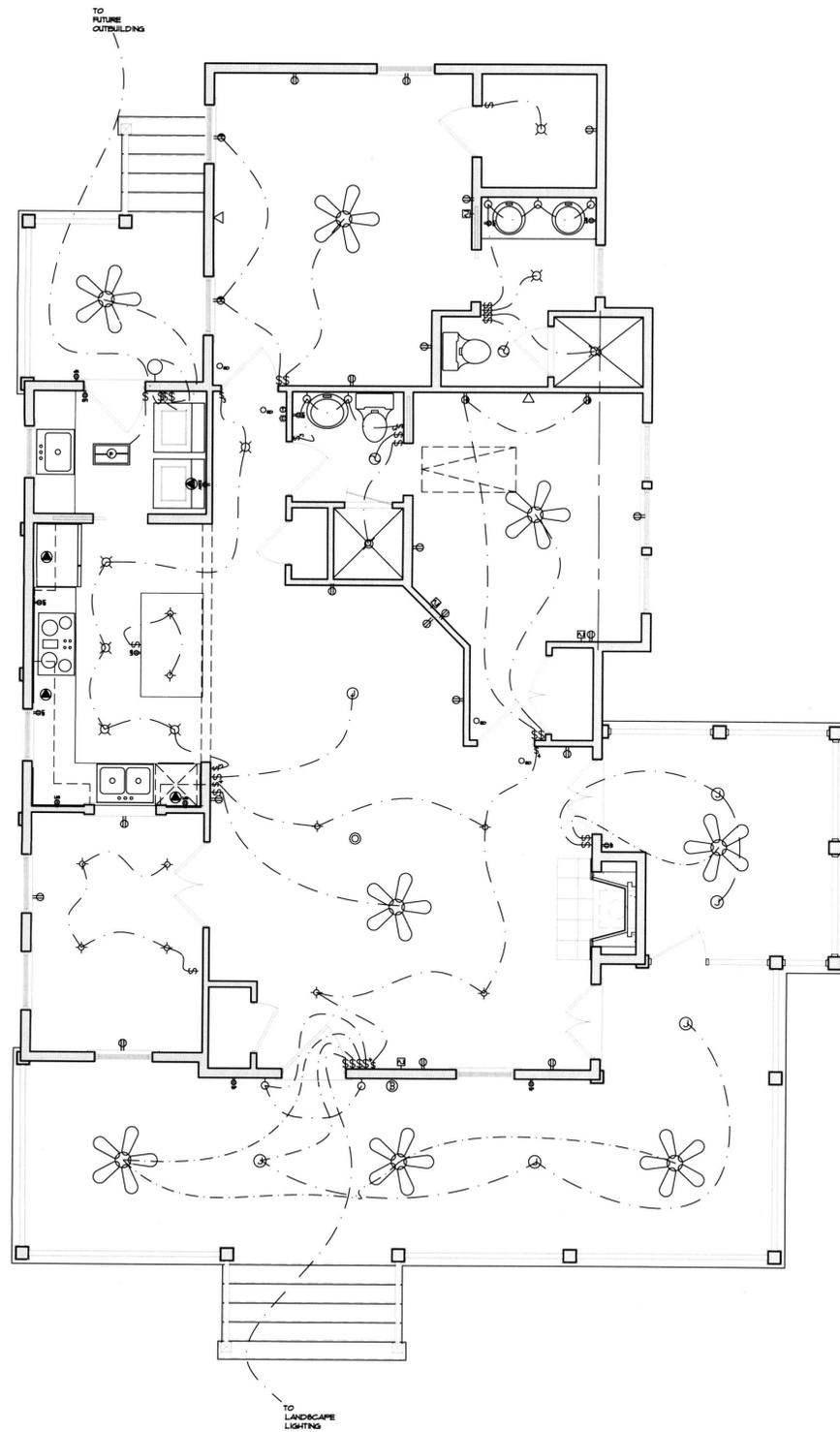
TNH-B-11B-1
DATE: APRIL 21, 2004

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RESIDENTIAL DESIGNERS
17 MARKET, NO. 2 • BEAUFORT, SC 29906
INFO@MOSERDESIGNGROUP.COM
PHONE (843) 379-5630 FAX (843) 379-5631

REVISIONS:
APRIL 20, 2009

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SHEET PROJECT: TNH-B-11B-1 BUNGALOW: TRADITIONAL NEIGHBORHOOD HOMES COLLECTION
OF 5
A circular stamp from the South Carolina Department of Labor, Licensing & Regulation is overlaid on the bottom right corner.



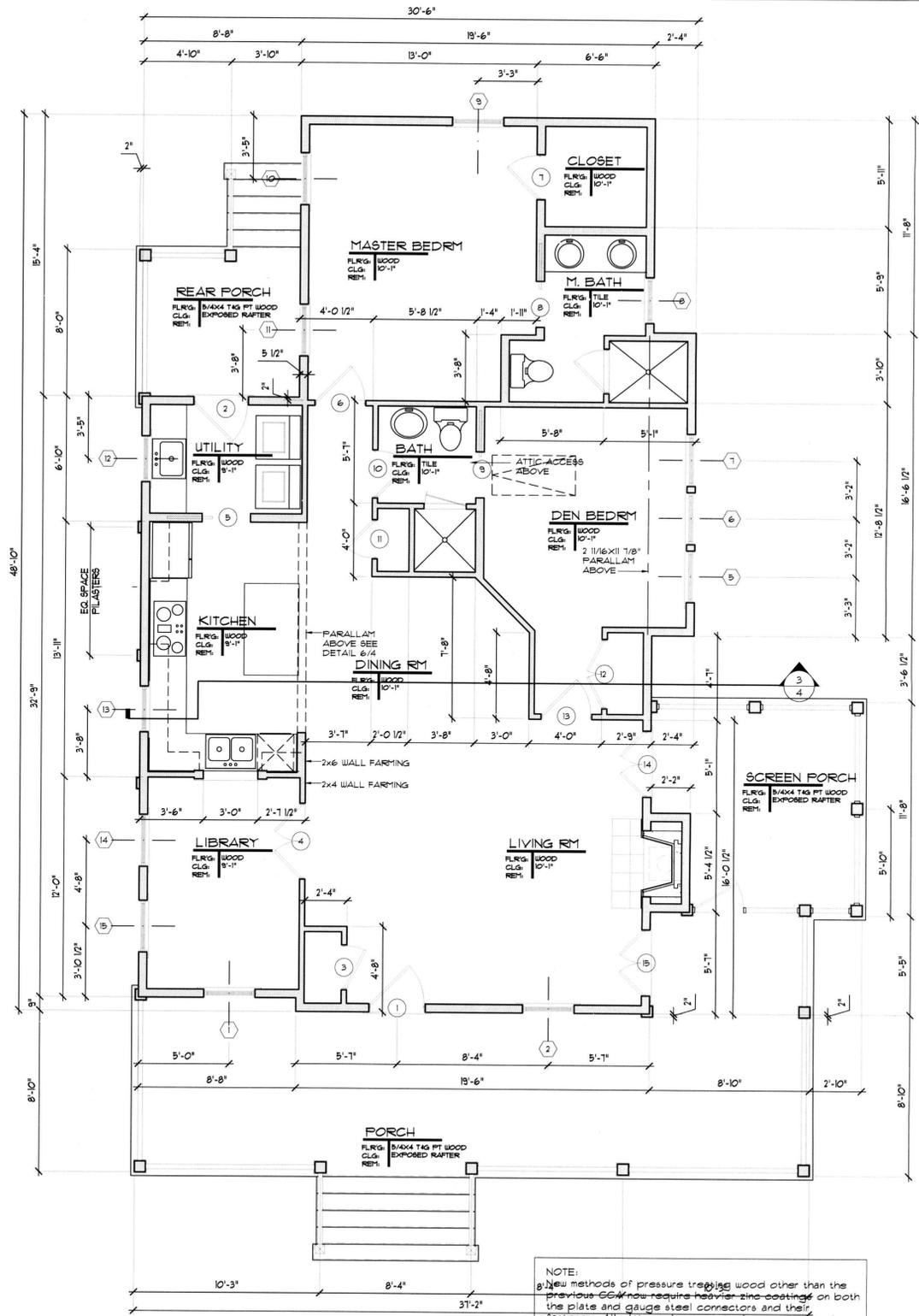
2
A-2
1/4" = 1'-0"

ELECTRICAL LEGEND	
⊗	5-1/2" RECESSED CAN LIGHT
⊙	3-1/2" RECESSED CAN LIGHT
○	SURFACE MOUNTED LIGHT
⊕	WALL MOUNT LANTERN
⊖	DOOR HEADER MOUNT FLOURESCENT
⊗	VANITY STRIP LIGHT
⊠	2'x4' FLOURESCENT LIGHT UNIT
⊙	JUNCTION BOX
⊕	EXTERIOR SPOT LIGHT
⊖	VENT/ LIGHT COMBINATION
⊗	SINGLE POLE SWITCH
⊕	3-WAY SWITCH
⊖	4-WAY SWITCH
⊗	GLOW SWITCH
⊕	DOOR BELL
⊖	DOOR BELL CHIMES
⊗	110V DUPLEX RECPTACLE
⊕	1/2 SWITCHED RECPTACLE
⊖	FLOOR RECPTACLE
⊗	GFI DUPLEX RECPTACLE
⊕	WATER PROOF RECPTACLE
⊖	220V HOOK-UP
⊗	APPLIANCE HOOK-UP
⊕	CABLE TV HOOK-UP
⊖	TELEPHONE JACK
⊗	THERMOSTAT
⊕	SMOKE DETECTOR
⊖	80 GAL HOT WATER HEATER
⊗	THERMO-CONTROLLED ATTIC VENT FAN
⊕	HVAC AIRHANDLER
⊖	ELECTRICAL MAIN PANEL
⊗	ELECTRIC METER BASE

ADDITIONAL ELECTRICAL HOOK UP:

- ⊗ WH WATER HEATER HOOKUP IN ATTIC
- ⊕ ATTIC VENT FAN HOOKUP IN ATTIC
- ⊖ AIR HANDLER HOOKUP IN ATTIC
- ⊗ JUNCTION BOX
- ⊕ ELECTRICIAN TO PROVIDE LIGHT FIXTURE OR CEILING FAN FOR EACH JUNCTION BOX SHOWN ON PLAN PER OWNERS SELECTION.

BUILDING AREAS	
TOTAL HEATED	1286 SQ FT
FRONT PORCH	500 SQ FT
REAR PORCH	71 SQ FT



NOTE:
New methods of pressure treating wood other than the previous GCW now require heavier zinc-coating on both the plate and gauge steel connectors and their fasteners. All plate and gauge steel connectors and their fasteners shall be either ZMAX or post batch hot-dip galvanized wherever they come in contact with pressure treated wood.

1
A-2
1/4" = 1'-0"

DATE :
APRIL 21, 2004

PROJECT:
TNH-B-11B-1
BUNGALOW:
TRADITIONAL NEIGHBORHOOD
HOMES COLLECTION

REVISIONS:
APRIL 20, 2009

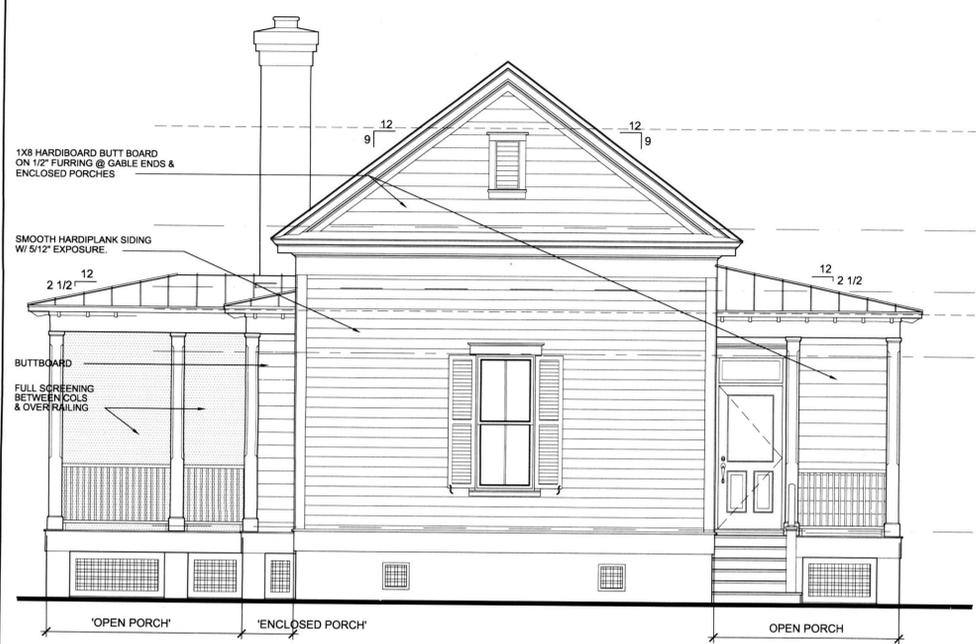
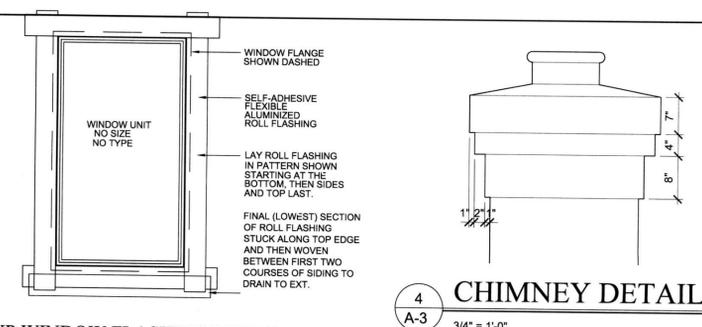
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INFO@MOSERDESIGNGROUP.COM
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PROJECT:
TNH-B-11B-1
BUNGALOW:
TRADITIONAL NEIGHBORHOOD
HOMES COLLECTION

SHEET:
A-2 OF 5

DOOR SCHEDULE								
DR #	DOOR WIDTH	DOOR HEIGHT	TYPE	OPERATION	LEAVES	CONSTRUCTION	DP RATING	REMARKS
1	3'-0"	6'-8"	ENTRY	SWING	SINGLE	SC-1GL-1RP	33	3'-0"x1'-2" DIRECT SET TRANSOM
2	3'-0"	6'-8"	ENTRY	SWING	SINGLE	SC-1GL-1RP	33	3'-0"x1'-2" DIRECT SET TRANSOM
3	2'-4"	8'-0"	CLOSET	SWING	SINGLE	SC-6-RP	-	-
4	4'-0"	8'-0"	PASSAGE	SWING	DBL	FRENCH	-	-
5	2'-8"	8'-0"	PASSAGE	POCKET	SINGLE	SC-6-RP	-	-
6	2'-8"	8'-0"	PASSAGE	SWING	SINGLE	SC-6-RP	-	-
7	2'-4"	8'-0"	CLOSET	SWING	SINGLE	SC-6-RP	-	-
8	2'-6"	8'-0"	PRIVACY	POCKET	SINGLE	SC-6-RP	-	-
9	2'-6"	8'-0"	PRIVACY	POCKET	SINGLE	SC-6-RP	-	-
10	2'-6"	8'-0"	PRIVACY	SWING	SINGLE	SC-6-RP	-	-
11	2'-0"	8'-0"	CLOSET	SWING	SINGLE	SC-6-RP	-	-
12	3'-8"	8'-0"	CLOSET	SWING	DBL	SC-6-RP	-	-
13	2'-8"	8'-0"	PASSAGE	SWING	SINGLE	SC-6-RP	-	-
14	3'-6"	6'-8"	ENTRY	SWING	SINGLE	FRENCH	33	3'-6"x1'-2" DIRECT SET TRANSOM
15	3'-6"	6'-8"	ENTRY	SWING	SINGLE	FRENCH	33	3'-6"x1'-2" DIRECT SET TRANSOM

WINDOW SCHEDULE												
WDW #	UNIT ID	JOIN MULL	TRANSOM SIZE	TRANSOM TYPE	FRAME WIDTH	FRAME HEIGHT	HEADER HEIGHT	WINDOW TYPE	MANUFACTURER	SHUTTERS	DP RATING	REMARKS
1	2834	-	-	-	2'-9 3/8"	6'-4 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
2	2834	-	-	-	2'-9 3/8"	6'-4 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
3	-	-	-	-	-	-	-	-	-	-	-	-
4	-	-	-	-	-	-	-	-	-	-	-	-
NOT USED												
5	2836	-	-	-	2'-9 3/8"	6'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	33	-
6	2836	-	-	-	2'-9 3/8"	6'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	33	-
7	2836	-	-	-	2'-9 3/8"	6'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	33	-
8	2430	-	-	-	2'-5 3/8"	5'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	33	-
9	2834	-	-	-	2'-9 3/8"	6'-4 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
10	2432	-	-	-	2'-5 3/8"	6'-0 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	41	-
11	2432	-	-	-	2'-5 3/8"	6'-0 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
12	2424	-	-	-	2'-5 3/8"	4'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
13	2424	-	-	-	2'-5 3/8"	4'-8 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	2 LOUVERED	33	-
14	2834	-	-	-	2'-9 3/8"	6'-4 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	33	-
15	2834	-	-	-	2'-9 3/8"	6'-4 3/4"	8'-1 1/2"	DBL HUNG	WINDSOR LEGEND	-	41	-



4 ALLEY ELEVATION
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTE:
APPLY 1" (4-PLY) PRESSURE-TREATED PLYWOOD @ FIRST 48" ABOVE CMU, THEN APPLY 1" (4-PLY) PLYWOOD SHEATHING ABOVE.

EXTERIOR TRIM NOTE:
#1 GRADE SMOOTH PRESSURE-TREATED SOUTHERN YELLOW PINE CAN BE SUBSTITUTED WHERE CPVC EXTERIOR TRIM IS SPECIFIED.



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 SIDEWALK ELEVATION
1/4" = 1'-0"

DATE: **APRIL 21, 2004**

PROJECT: **TNH-B-11B-1 BUNGALOW: TRADITIONAL NEIGHBORHOOD HOMES COLLECTION**

RESIDENTIAL DESIGNERS
MOSER DESIGN GROUP, INC.
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SHEET: **A-3** OF **5**

Performance Contracting
334 Redoubt Road
Yorktown, Virginia 23692
988-3900

Class A 2705-011874A

Michael D. and Venocia W. Lulofs
210 Smith Street
Yorktown, VA 23690
mlulofs@cox.net

3/23/20

Exterior Colors:

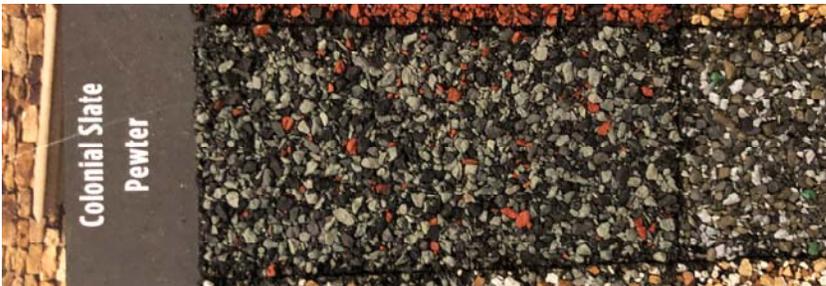
Brick: Foundation 109 Lawrenceville Colonial with Roanoke Buff mortar –same as 208 Bacon.



Siding: Hardi Plank Cedar Mill 8"-Gray Slate.



Roof Shingle: CertainTeed Landmark Architectural Shingles-Colonial Slate.



Front Door: Fiberglass raised panel-painted.
Color-Benjamin Moore-Heritage Red (HC-181)



Shutters: Vinyl raised panel sized to fit windows.
Color-Black

Cornice/Columns: White.

Garage Door: CHI Model 2251-raised panel-steel-White.

<https://www.chiohd.com/homeowners/garage-doors/raised-panel/2251>



Exterior front door light: Kichler #9835 in black – pendant light (qty. 1)

https://www.build.com/search?term=kichler%209835&ssrc=sayt_terms



Exterior garage door light: Kichler #9735 in black (qty. 2) one light on either side of the door. <https://www.build.com/kichler-9735/s400501?uid=845325>



Exterior side garage door light (if needed): Kichler #49183 in black.
<https://www.build.com/kichler-49183/s223105?uid=1222406>



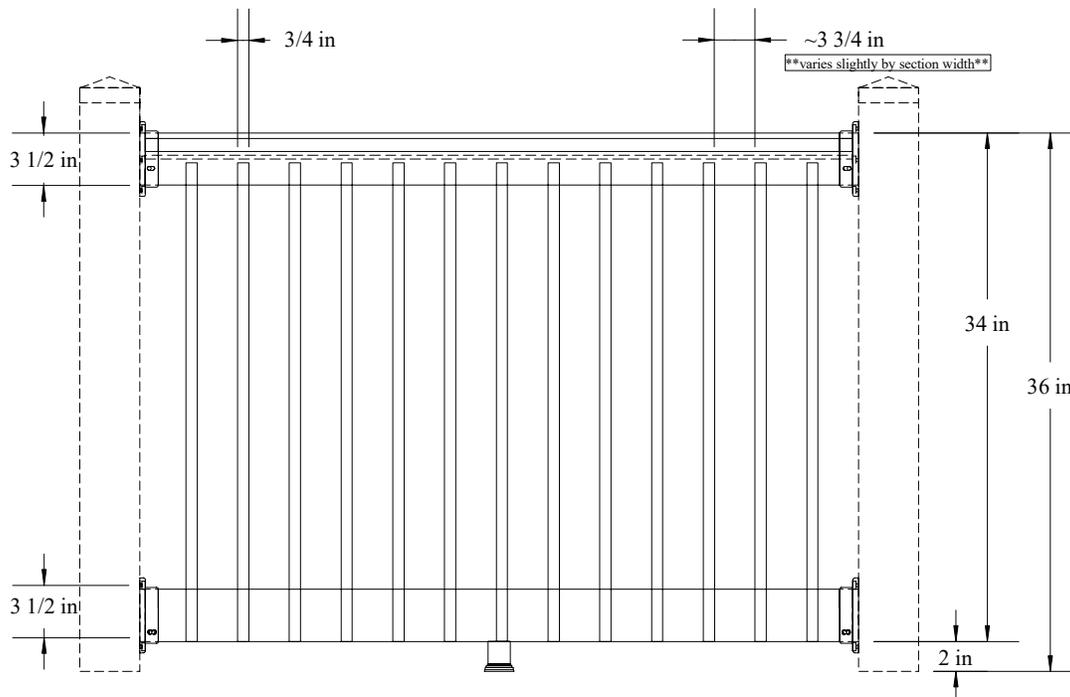
Screened porch ceiling fan/light: Home Depot (internet #301161474)
Color: galvanized



T-rail w/ Square and Round Black Aluminum



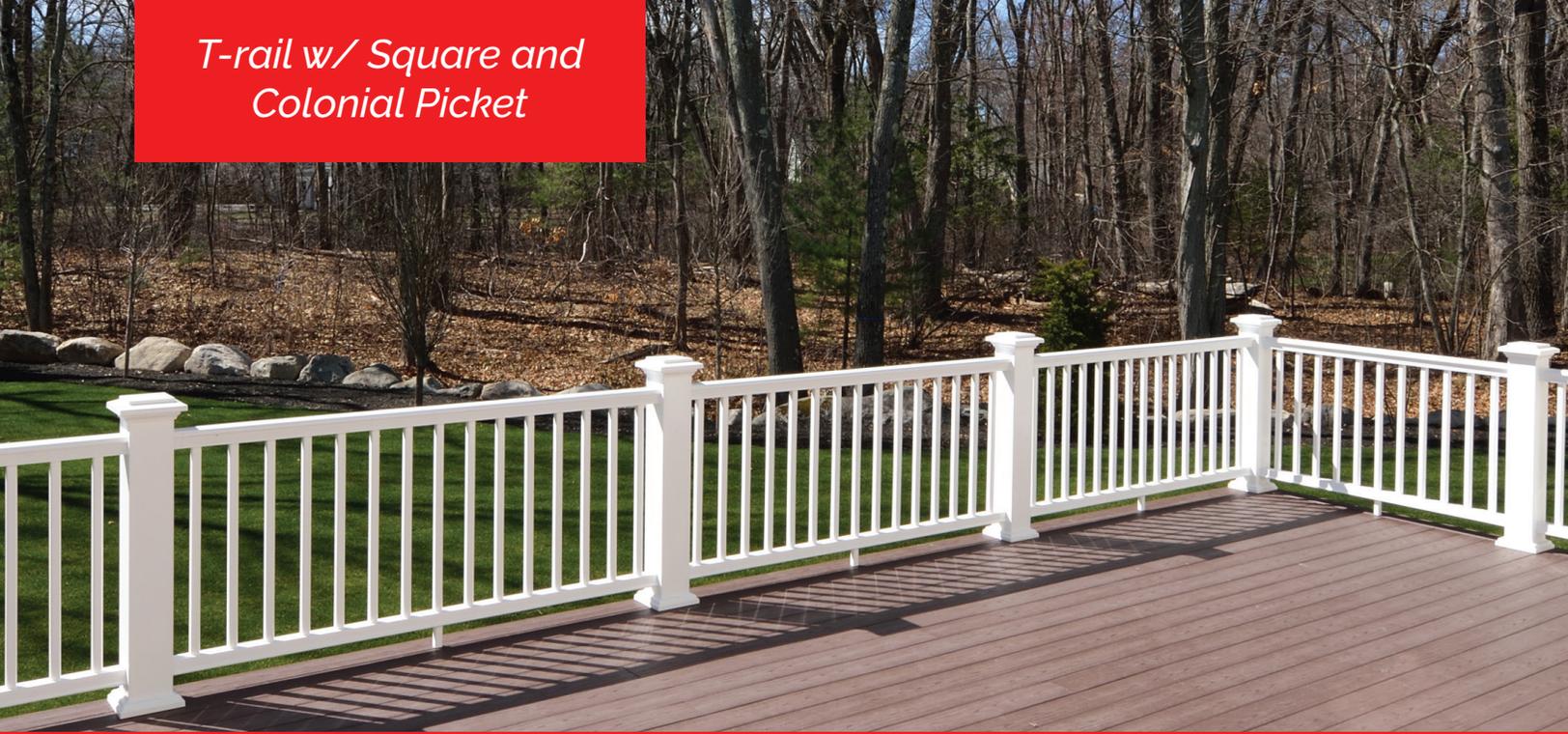
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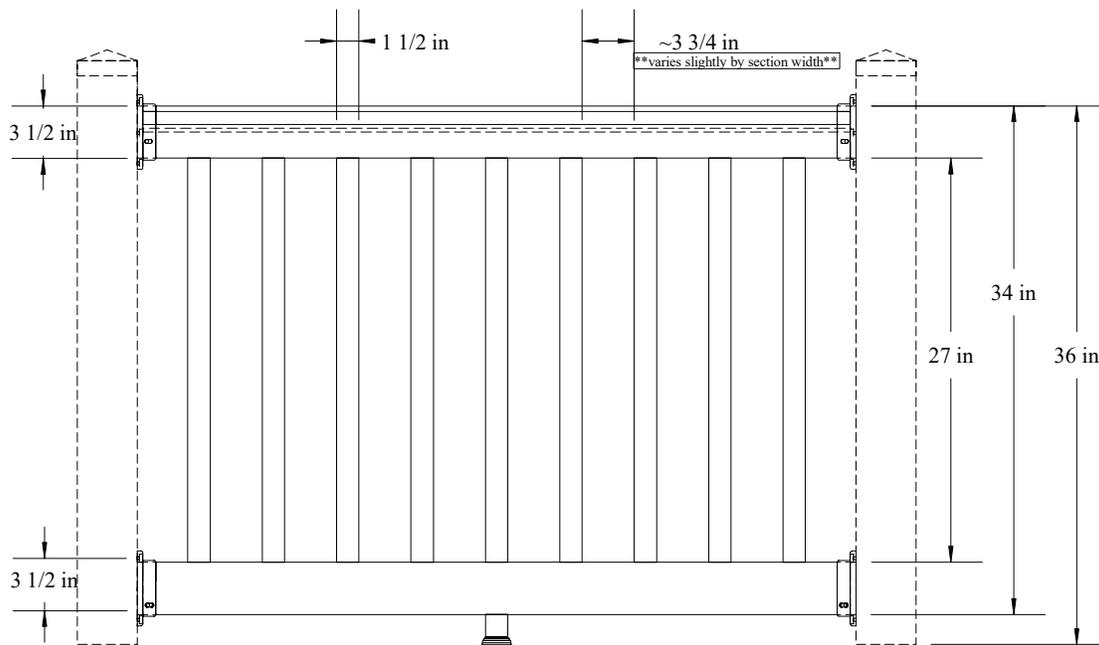
	Rail	Picket
4'W	2 - 47 3/4"	13 - 32"
6'W	2 - 71 3/4"	15 - 32"
8'W	2 - 95 3/4"	20 - 32"
10'W	2 - 119 3/4"	25 - 32"

Tolerances Unless otherwise specified:
Fractions: +/- 1/8"
Decimals: +/- .125"

T-rail w/ Square and Colonial Picket



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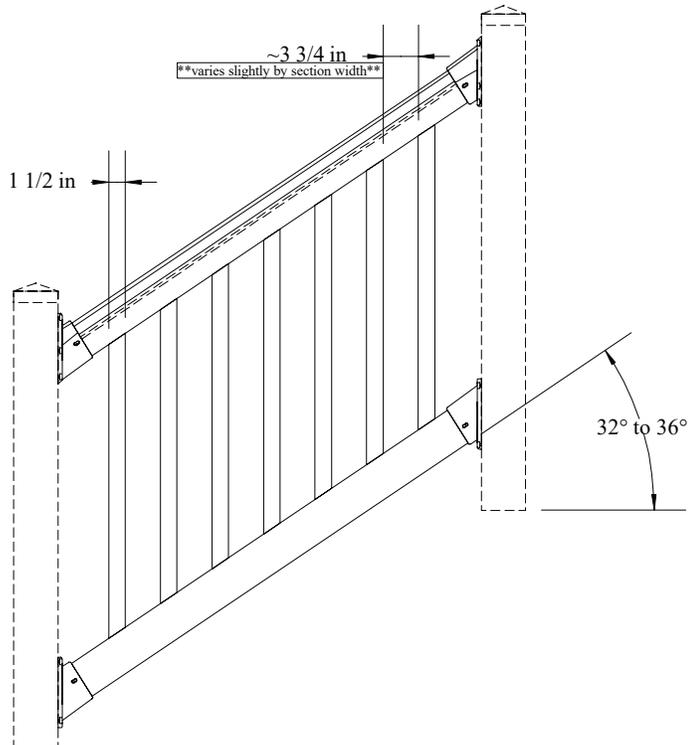


	Rail	Picket
Tolerances Unless otherwise specified: Fractions: +/- 1/8" Decimals: +/- .125"	4"W	2 - 47 3/4" 9 - 32"
	6"W	2 - 71 3/4" 13 - 32"
	8"W	2 - 95 3/4" 18 - 32"
	10"W	2 - 119 3/4" 22 - 32"

T-rail w/ 1.5" Square and Colonial Picket



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	Rail	Picket
4"W	2 - 47 3/4"	7 - 32"
6"W	2 - 71 3/4"	11 - 32"
8"W	2 - 95 3/4"	15 - 32"
10"W	2 - 119 3/4"	19 - 32"

Tolerances Unless otherwise specified:
 Fractions: +/- 1/8"
 Decimals: +/- .125"

On the site plan:

- Label the width of the driveway. **Will be completed-11' wide**
- The driveway surface is labeled as coarse aggregate. I do not have any experience with this material. The Design Guidelines state, "private, residential driveways should be surfaced in grass, compacted soil/stone mixture, brown pea stone/gravel, exposed aggregate concrete, or brick pavers". Is it an exposed aggregate concrete? **Yes, exposed aggregate.**
- What are the surface materials for the sidewalk/path and for under the breezeway? **Same as driveway.**
- The Design Guidelines stipulate, "on original lots...the footprint of the primary structure (including porches, wings, etc.) should not exceed 30% of the total lot area. As such, could you label the size of the structure in square feet with the porches and breezeway as a total. **Will be completed. Total house including porches is 1928 square feet.**
- Label the size of the detached garage and width and length of the breezeway. The garage should only be 25% of the primary structure. **Will be completed. Garage 480 square feet. Breezeway has been eliminated.**
- Please place the location of the HVAC and other outside utilities on the plan and if in the side yard, it will need to be screened through fencing and landscaping. **Will be completed. HVAC location will be right rear.**

On the house plans:

- What is the total height to the ridge for the house and the garage and the height of the chimney? **The total height to ridge is approximately 25'.**
- The roof pitch should be in the range of 9:12 to 12:12. The bottom portion of the roof is listed as 2.5/12, which is much smaller than what the Guidelines state. Additionally, the roof style is unique to Yorktown and seems to be a mix of Gable and Dutch. I believe the Committee will be flexible, but it will be something you should be prepared to discuss at the meeting. **TBD.**
- Most of the windows on Smith Street are six over six divided light windows, do you plan to do something similar or will you only have the two panels. **Yes 6/6 style is confirmed.**
- Your material list shows vinyl shutters, which has not been something the Committee has responded to positively in the past and will be something you will need to discuss. **TBD.**
- I'm assuming the brick is for the foundation, but it would be helpful to label that on the material sheet or on the house plans. **Labeled on attached selection sheet.**
- What type of mortar color and bond will you be using? The Guidelines state a beige or tan mortar and Common or American bond. **Mortar-Roanoke buff. Running bond-Round mortar joint.**
- What will the trim color be? **White.**
- Only one entry door is allowed on the front façade and I'm not sure how the door on the right side elevation, which is very close to the front of the house will be viewed by the Committee. This may be another item of discussion by the Committee. **TBD.**

- Will the porch have turned or square pickets? **Square.**
- Will you have gutters or ground gutters? **TBD.**
- The chimney is very unique. The Guidelines state chimneys must be brick and I'm not sure how that would work for your proposal. Stucco is not a material that is listed as usable for wall material in the Guidelines, so I'm not sure if siding would be a good alternative. Please discuss with your builder on how best to handle. If you want to move forward with the stucco, then we'll need to discuss with Committee and also what color the stucco would be.
Chimney will be eliminated.

General comments:

- Only one house on Smith Street has a mailbox on the road. Will you have a mailbox? If so, please show on site plan the location and provide a style of mailbox. **Install mailbox location on site plan. Style TBD.**
- Do you know what kind of door hardware you plan to use?
Schlage, Model F62CAM 716ACCLH (Camelot Collection) - Matte Black
See attached picture.